

CAREFREE RANCH OWNERS ASSOCIATION DESIGN GUIDELINES

Table of Contents

Section 1	INTRODUCTION
Section 2	REVIEW AND APPROVAL
Section 3	SITE DEVELOPMENT GUIDELINES
Section 4	ARCHITECTURAL DESIGN GUIDELINES
Section 5	CONSTRUCTION GUIDELINES
Appendices	A. Definitions
	B. CROA Design Review Fee Schedule
	C. Approved Plant List
	D. Prohibited Plant List
	E. Approved Sloped Roof Materials List
	F. Approved Colors List
	G. Comments About Select Governmental Regulations

Section 1

Introduction

INTRODUCTION

Located on the south side of Lone Mountain and adjacent to the Desert Mountain and Ranch Homesteads subdivisions, Ranch Highlands and Lone Mountain subdivisions (hereafter called Carefree Ranch) is a special place within the desert community. The terrain, views, topography and slopes vary greatly within the Ranch and each lot is unique in terms of its natural opportunities and constraints. In order to take full advantage of these attributes, each Lot will require a different approach in design and construction. It is the intent of the architectural standards and design restrictions set forth in the Carefree Ranch Design Guidelines (hereinafter Guidelines) to preserve, protect and enhance, to the extent justified, the special environment in the North Scottsdale/Carefree area.

These Guidelines presently apply to Lots 1 through 55 inclusive of Ranch Highlands subdivision and lots 1 through 24 and lot 26 of Lone Mountain, a subdivision according to the plat of subdivision recorded in Book 225 of Maps at Page 40 in the official records of Maricopa County, Arizona. They will also apply to other Lots within or nearby the subdivision of which, in the future, are annexed into the Association (or otherwise are subjected to the design review authority of the CROA Design Committee) and are made a part of Carefree Ranch or Lone Mountain. These Guidelines have been promulgated pursuant to the Amended and Restated Master Declaration of Covenants, Conditions, Restrictions, Assessments, Charges, Servitudes, Liens, Reservations and Easements for Ranch Highlands.

Desert Mountain has the responsibility of handling Design Review issues and approvals for lots 25-46 (except 26) in the Lone Mountain subdivision for the Lone Mountain Village Association.

These guidelines are binding upon all persons who at any time, construct, reconstruct, reroof, refinish, repaint, alter or maintain any Improvement within Carefree Ranch or The Village of Lone Mountain or make any change in the natural or existing surface, drainage or plant life thereof.

These guidelines are administered and enforced by the CROA Design Review Committee (hereinafter "Committee") in accordance with the CC&Rs, the CROA Board of Directors and the procedures herein set forth. Each Residence must meet the intent of these design guidelines to be finally approved for construction.

The Committee may create additional guidelines, policies and procedures to these Guidelines. Please contact the Committee for the latest amendments to these Guidelines, the Master Design Guidelines or current policies prior to proceeding with design.

The purpose of the Design Committee is to evaluate each proposed design for appropriateness to its own Lot in the context of Carefree Ranch as a whole. The Committee may determine that what was found acceptable in one situation may not be acceptable in another. The goal is for the appearance and character of all Residences and other Improvements to harmonize with and enhance their natural and manmade surroundings rather than to dominate and/or contrast sharply with them.

It is expected that the design of each Residence in Carefree Ranch will be tailored to the unique features of each individual Lot in an effort to achieve a synthesis of nature and Residence. To preserve the natural features of each Lot, such as views, existing vegetation, boulder outcroppings, and significant washes, each Residence will need to be sited so as to minimize disruption of the existing environment.

These standards, affecting exterior configuration and appearance, are aimed at maintaining a community that harmonizes with the natural surroundings. They apply in addition to requirements set forth by governmental agencies and it is the obligation of Owners to become familiar with and comply with all such requirements. Architectural styles are not dictated by Committee Design Guidelines, but instead a natural architectural character appropriate to the desert environment and surrounding community context is recommended for the design of each Residence to make it a unique reflection of each Owner, while still remaining consistent with the image of Carefree Ranch. The Committee encourages creative architecture, yet warns against architectural styles that are not appropriate to the desert or community context. The desert environment is unlike most others and requires special attention to massing, proportion, texture, color, height, solar orientation, materials and landscaping in order to create a Residence which will be compatible with the natural desert environment and provide the Owner with a comfortable, livable home to enjoy for many years.

In addition, the rugged terrain and steep slopes within many of these Lots will require creative solutions that integrate the Residence and other Improvements into the natural environment. Due to the visibility of these home sites from the surrounding area, the Residence and other Improvements should be designed in such a manner that they blend with their backdrop and seem to disappear when viewed from a distance. The primary objective of these Guidelines is to create Residences and other Improvements with minimal negative visual or environmental impact on the surrounding community.

The Committee reserves the right to disapprove designs that it feels, in its opinion, do not meet the intent of these Guidelines, the intent of minimum visual impact, the intent of fitting with the community context, the intent of nestling into the natural terrain, and the intent of harmonizing with the built and natural environment even if they satisfy the objective and technical requirements set forth in these guidelines.

Section 2

Review And Approval Process

2. REVIEW AND APPROVAL PROCESS

In order to assist each Owner in the planning and designing of his or her Residence to take full advantage of the unique opportunities of his or her Lot, a comprehensive design review process administered by the Carefree Ranch Design Review Committee, herein called the Committee, has been established. This process provides an opportunity for the owner to draw upon expertise and knowledge which has been acquired during the planning and prior development of Carefree Ranch. Under the Declaration, the Committee is charged with the responsibility of maintaining the standards set forth in the Design Guidelines. The Committee may delegate its approval and disapproval authority to the Board of Directors of Carefree Ranch Owners Association (the Board) and, during such period of delegation, any requirement herein for approval by the Committee shall be satisfied by approval of the Board.

In general, the design review process is divided into five phases:

1. The Pre-Design Meeting
2. The Preliminary Submittal
3. The Final Submittal
4. The Construction Permit
5. The Final Inspection

It is strongly recommended that an Owner retain competent professional services for planning and design. A thorough analysis and understanding of a particular Lot and the Owner's special needs and the skill to translate this into building form, as well as the ability to convey to the Design Review Committee the concept and design of a proposed residence or other improvement, are all important elements of the design review process. If an Owner elects to do his or her own design or to retain non-professional services, and the result in either case is not approved by the Committee, the Committee has the right to require that the Owner thereafter utilize professional design services.

The design review process was developed to provide adequate checkpoints along the way, in an effort to minimize time and money spent on designs, which do not adhere to the Design Guidelines or to the overall philosophy of Carefree Ranch, and an attempt has been made to streamline this process to eliminate excessive time delays. Nevertheless, each Owner is himself responsible for complying with the Design Guidelines, as well as all rules and regulations of any governmental authority having jurisdiction, in order to bring the design review process to a speedy and satisfactory conclusion.

The Committee will conduct reviews of projects during its regular meeting or at such other times as it deems appropriate. Owners, Architects, or Builders shall have no right to attend any meeting of the Design Review Committee unless specifically requested to do so by the Committee. The Committee will respond in writing after a written submittal of all requirements is completed. The review will not begin until all required information has been provided to the Committee. Results of reviews will not normally be discussed over the telephone with an Owner or his or her Architect or Builder. Any responses an Owner may wish to make in reference to issues contained in the Committee's notice following review of submittals should be addressed to the Committee in writing.

2.1 PRE-DESIGN MEETING

To initiate the review and approval process, it is mandatory that the Owner and/or his or her Architect meet with a duly designated representative of the Committee to discuss the proposed Residence and to explore and resolve any questions regarding building requirements in Carefree Ranch or interpretation of the Design Guidelines. This informal review is to offer guidance and review a conceptual site plan and elevation prior to the initiation of preliminary design. An appointment for the Pre-Design Meeting should be made at least one week in advance. Items discussed in this meeting are not binding on the Board nor do they constitute approval by the Board.

Although the Committee will enforce all provisions of the Guidelines, the following will be of particular concern:

- (a) Siting of the Residence within your Building Envelope to be sensitive to views and privacy from other Lots or open spaces and integration and preservation of significant natural vegetation. Committee shall have final say on siting concerns.
- (b) Architectural character as viewed from all sides and specifically as viewed from the Ranch roads, where applicable. The massing, texture and materials of the design are critical.
- (c) Architectural character and color of the roof, the massing of the roof, and the roof details as viewed from homes above as well as visual impact on the community as a whole.
- (d) Building heights and masses as per Section 4.3 of these Guidelines.
- (e) Finished Floor Levels and Cut and Fill Conditions as per Section 3.7 of these Guidelines.
- (f) Exterior elevations of the Residence, including a high level of aesthetic quality and use of multiple materials.
- (g) Exterior paint and material colors, as well as color usage and distribution.
- (h) Landscape character and plant materials appropriate to the environment. Scottsdale requires a landscape plan for permit and Committee will review plan as part of the design approval process.

2.2 PRELIMINARY SUBMITTAL

Preliminary drawings, including all of the exhibits outlined below, must be submitted to the Design Review Committee after the Pre-Design Meeting.

2.2.1 Preliminary Submittals shall include:

- (a) A survey, at no less than 1" = 20', prepared by a registered land surveyor, showing Lot boundaries and dimensions, existing surface contours at five foot intervals on U.S.C.G.S. datum, major terrain features such as washes, and all Protected Plants, highlighting those plant materials that will be removed during construction or that are within 20 feet of the proposed improvements. The survey shall also show all major boulders or boulder clusters (in excess of four (4) feet in diameter) and bedrock outcrops. Major boulder outcroppings shall be protected and maintained as determined jointly by the City, the Owner or his Architect, and the Committee at the time of site plan review. Each Owner submitting drawings for approval to the Design Review Committee shall be responsible for the accuracy of all information contained therein.
- (b) A site plan, at no less than 1" = 20", showing the locations and areas of the Building Envelope, the Residence and all other buildings or major structures, access road, parking areas, patios, pools, walls, proposed utility service facilities and routes, site grading including existing and proposed contours and topographic features such as washes, rock outcroppings and existing trees and major shrubs to be retained and to be relocated, and elevations of all building floors, patios, and terraces, shown in relation to site contour elevations.
- (c) Roof Plans and Floor Plans at no less than 1/8" = 1'0". Roof plans should show areas of flat and sloped roofs and all roof mounted equipment.
- (d) Exterior elevations of all sides of the Residence, at the same scale as the floor plans, with both existing and proposed grade lines shown and all exterior materials and general color indicated.
- (e) A study model of the proposed improvements, at not less than 1/8" = 1'0", showing the relationship of all proposed improvements to the contours of the Lot. Care must be taken to accurately represent the massing of all structures and roof.
- (f) A Design Review Fee in an amount specified by the Design Review Committee, payable to Carefree Ranch Owners Association. Current standard fees are \$1,500.00 for plans and \$500.00 for Building Envelope. Non-standard requests will be billed by the Association architect at an hourly rate, minimum of \$250.00 or \$0.50/square foot under roof, whichever is greater.
- (g) Any other drawings, materials, or samples requested by the Committee.

2.2.2 All accessory improvements contemplated on the Lot must be shown on the Preliminary Submittal.

2.2.3 To assist the Committee in its evaluation of the Preliminary Submittal, the Owner shall provide, if requested, preliminary staking at the locations of the corners of the Residence or major Improvement, the access road, and at such other locations as the Committee may request.

2.2.4 PRELIMINARY APPROVAL

After the notice and comment period, the Preliminary Submittal will be deemed complete. The thirty (30) day time period will not commence until the Preliminary Submittal is complete. The Design Review Committee will then review the submittal for conformance to these Design Guidelines and will provide a written response to the Owner. During such periods as the Committee has delegated its approval authority to the Board, the Board will provide the written response.

2.3 CITY OF SCOTTSDALE DEVELOPMENT REVIEW BOARD

In addition to approval by the Committee, the design of all Improvements on all Lots in Carefree Ranch are subject to approval by the City of Scottsdale's Development Review Board. Based on Section 1.400 and 7.842 of the City of Scottsdale's Zoning Ordinance, all Residences and site Improvements constructed within the Hillside Landform, as established by the Environmentally Sensitive Lands Ordinance, are required to be approved by the City of Scottsdale's Development Review Board. This process is separate from any process administered by the Design Committee.

A pre-application meeting must be scheduled with the Project Review Department at the City. Based on workloads at the City, it may take two (2) to six (6) weeks to get an appointment for a pre-application meeting. At the pre-application meeting, each residential project will be assigned a project coordinator and given a list of submittal requirements and applicable fees.

It is strongly recommended that all designs receive Preliminary Submittal approval from the CROA Design Committee prior to submittal to the City of Scottsdale Development Review Board. After approval by the Committee and after completion of all of the information required from the pre-application meeting with the City, the submittal may be made to the City based on established submittal schedules. Usually within four (4) weeks, the submittal is reviewed by the Development Review Board at a public hearing based on established schedules of the City.

The Development Review Board process is administered solely by the City of Scottsdale. The CROA Design Committee has no control or influence over any of the actions and/or decisions of the City's Development Review Board. Any stipulations or requirements of the City of Scottsdale Development Review Board shall become a requirement of the Final Submittal for the Committee.

2.4 FINAL SUBMITTAL

After preliminary approval is obtained, the following documents are to be submitted to the Committee for final approval.

2.4.1 Final Submittals shall include:

- (a) Complete construction documents for the Residence including, in addition to all data noted in Section required to illustrate 2.2.1 paragraphs (b), (c), and (d), building sections as required to illustrate the building, all utility locations, electric meter and transformer locations, any adjustments to locations and/or areas of the Building Envelope or the Residence, and locations and manufacturer's catalog cuts of all exterior lighting fixtures.
- (b) Samples of all exterior materials and colors, and window and glass specifications, mounted on a board clearly marked with Owner's name, filing date, and Lot number, and identified with manufacturer's name, color and/or number.
- (c) A complete landscape plan, at the same scale as the site plan showing: Areas to be irrigated, if any; locations and sizes of all existing and proposed plants and any decorative features such as pools or imported rocks; and a list of all proposed plants. The locations of all existing protected plants, size, condition and proposed status.
- (d) A hydrology report may be required, in a form determined by the Design Review Committee.
- (e) A fully executed and notarized original copy of the Natural Area easement, including a legal description of the Natural Area, which must be delivered to the City by the Owner for recording upon final approval by the Design Review Committee.
- (f) An approximate time schedule indicating approximate dates for starting and completion of construction, utility hook-up, completion of landscaping work, and anticipated occupancy date.
- (g) The location of all exterior building lighting and cut sheets of same.

2.4.2 All plants proposed for transplanting shall be tagged.

2.4.3 Final Approval

Upon receipt of the complete Final Submittal, including any required staking; the Committee will review the submittal for conformance to these Design Guidelines and to any preliminary approval stipulations and will provide a written response to the Owner. During such periods as the Design Review Committee has delegated its approval authority to the Board, the Board will provide the written response.

2.5 CONSTRUCTION APPROVAL

Obtaining plan check approval from the City and securing of a building permit is the responsibility of the Owner and/or Builder. Construction shall be in accordance with the Final Submittal approved by the CROA Design Committee. No construction may begin without a Pre-Construction conference and CROA Construction Approval Letter.

2.6 ADDITIONAL CONSTRUCTION AND/OR EXTERIOR CHANGES

Any changes to the approved drawings before, during, or after the construction of an improvement must first be submitted to the Design Review Committee for approval and may be subject to additional fees. Failure to do so can result in rebuilding to match approved designs or any other remedy available to the CROA.

2.7 RESUBMITTAL OF DRAWINGS

In the event of disapproval by the Design Review Committee or its delegate, of either a Preliminary or a Final Submittal, any resubmission of drawings must follow the same procedure as the original submittal.

2.8 COMMENCEMENT OF CONSTRUCTION

Upon receipt of approval from the Committee, the Owner shall commence the construction pursuant to the approved Final Submittal within one (1) year from the date of the approval. If the Owner fails to comply with this paragraph, any approval given shall be deemed revoked unless, upon the written request of the Owner made to the Committee prior to the expiration of the one year period and upon a finding by the Committee that there has been no change in circumstances, the time for commencement is extended in writing by the Committee. The Owner shall, in any event, complete the construction of the foundation and all exterior surfaces, (including the roof, exterior walls, windows, doors and all landscaping) of any Improvement on his Lot within 549 days after commencing construction except when such completion is impossible or would result in great hardship to the Owner due to strikes, fires, national emergencies, or natural calamities. If the Owner fails to comply with the paragraph, CROA, at its option, may complete the exterior in accordance with the approved drawings or remove the Improvement(s), and the Owner shall reimburse the CROA for all expenses incurred in connection therewith. For late completion penalties, refer to Construction Guidelines, 5.17.

2.9 WORK IN PROGRESS - INSPECTION

The Design Review Committee may inspect all work in progress and give notice of non-compliance if found. Absence of such inspection and notification during the construction period does not constitute either approval by the Design Review Committee of work in progress or of compliance with these Design Guidelines or the Declaration.

2.10 FINAL INSPECTION

Upon completion of any Residence or other Improvement for which final approval was given by the Design Review Committee, the Owner shall give written notice of completion to the Design Review Committee. Such notice is required for return of the construction deposit. (See Section 5.2)

Within such reasonable time as the Design Review Committee may determine, but in no case exceeding 30 days from receipt of such written notice of completion, it may inspect the residence and/or Improvements. If it is found that such work was not done in compliance with the approved Final Submittal, it shall notify the Owner in writing of such non-compliance within forty-five (45) days of its receipt of the Owner's notice of completion, specifying in reasonable detail the particulars of non-compliance, and shall require the Owner to remedy the same.

If, upon the expiration of 30 days from the date of such notification by the Design Review Committee, the Owner shall have failed to remedy such non-compliance, the Design Review Committee shall notify the Owner, and may take such action to remove the non-complying Improvements as is provided in these Design Guidelines or the Declaration, including, without limitation injunctive relief or the imposition of a fine.

If, after receipt of written notice of completion from the Owner, the Design Review Committee fails to notify the Owner of any failure to comply within the provided period following the Design Review Committee's inspection, the Improvements shall be deemed to be in accordance with the approved Final Submittal.

The written notice required in paragraph 1 above shall include a copy of the "Certification of Finish Floor Level and Building Height " signed by the Builder on a form provided by the Committee and signed and sealed by a land surveyor or civil engineer registered in the state of Arizona. This form shall certify that the finished floor levels and building heights of the Residence were constructed in accordance with the approved Final Submittal. Any changes to the finish floor levels or building heights during the course of construction require specific approval of the Committee prior to the change pursuant to Section 2.6 of these Guidelines.

If an Owner chooses to occupy the Residence following receipt of a Certificate of Occupancy from the City, but prior to Final Construction Review by the Committee, he may do so provided that the work is continued and the written Notice of Completion is given to the Committee within

forty-five (45) days of occupancy. If Improvements are not completed within forty-five days of occupancy, the Committee reserves the right to take such action to cause the completion of the Improvements as is permitted in these Guidelines, without limitation, the imposition of fines.

2.11 NON-WAIVER

The approval by the Design Review Committee of any drawings or specifications for any work done or proposed, or in connection with any other matter requiring such approval under these Design Guidelines or the Declaration, including a waiver by the Design Review Committee, shall not be deemed to constitute a waiver of any right to withhold approval as to any similar drawing, specification, or matter whenever subsequently or additionally submitted for approval.

2.12 RIGHT OF WAIVER

The Design Review Committee reserves the right to waive or vary any of the procedures or standards set forth herein at its discretion, for good cause shown.

2.13 ESTOPPEL CERTIFICATE

Within 30 days after written demand therefore is delivered to the Design Review Committee by any Owner, and upon payment therewith to the Design Review Committee of reasonable fee from time to time to be fixed by it, the Design Review Committee shall record an estoppel certificate executed by a quorum of its members, certifying with respect to any Lot of said Owner that, as of the date thereof, either (a) all improvements and other work made or done upon or within said Lot by the Owner, or otherwise, comply with the Design Guidelines and the Declaration, or (b) such Improvements and/or work do not so comply, in which event the certificate shall also: (1) identify the non-complying Improvements and/or work and (2) set forth with particularity the cause or causes for such non-compliance. Any purchaser from the Owner or mortgagee or other encumbrancer shall be entitled to rely on said certificate with respect to the matters therein set forth, such matters being conclusive as between the Association, the Design Review Committee, all Owners and other interested Persons, and such purchaser, mortgagee, or other encumbrancer.

Section 3

Site Development Guidelines

3.0 SITE DEVELOPMENT GUIDELINES

The natural topography, vegetation and environment in Carefree Ranch is unique and requires special design attention for site development. Each Lot has unique features of topography, slope, views, drainage, vegetation, boulders, and access that need to be analyzed in the design process. The Committee stresses the important of integrated site and Residence design so that homes respond to the natural characteristics of each specific Lot. The following site development guidelines deal with issues of siting, grading, excavation and landscaping.

The upper Sonoran Desert landscape at Carefree Ranch is fragile and may take years to naturally mitigate impacts to site or vegetation. To address these concerns, the City has also developed regulations intended to provide protection for the natural desert areas. Although an effort has been made to have these Design Guidelines be consistent with the City's regulations, each Owner, through his Architect, is responsible for reviewing applicable City regulations and making certain they are complied with.

3.1 BUILDING ENVELOPE

The Building Envelope is the portion of each Lot within which all Improvements must be built and alterations to the existing landscape may occur. A Building Envelope will be identified for each Lot based on the natural features of the Lot, views, relationship to adjacent lots, drainage and topography and relevant consideration such as views, privacy, and the overall character of the development.

The Building Envelope acts as a limit beyond which no construction activity, including grading and access, may take place or materials may be stored. Therefore, all constructed Improvements (i.e., walls, buildings, etc.) must be held a minimum of five (5) feet within the Building Envelope line to allow construction activity to be contained.

Before any conceptual planning is done, and before a Preliminary Submittal can be made, an Owner and/or his Architect/Designer must discuss the Building Envelope with the Committee during the Pre-design meeting. Since the Building Envelope is a maximum conceptual allowable building area, screen walls, berms or other landscape elements will not be permitted to delineate Building Envelope borders arbitrarily nor be permitted without relation to other elements of the Residence.

There are no designated Building Envelopes in Ranch Highlands subdivision. However, committee requires a site plan for the Pre-design meeting and reserves final approval for the chosen building envelope. There are recorded Building Envelopes in the Lone Mountain portion. (See Exhibit A dated 10/30/80, sheet 2 of 2).

3.2 NATURAL AREA

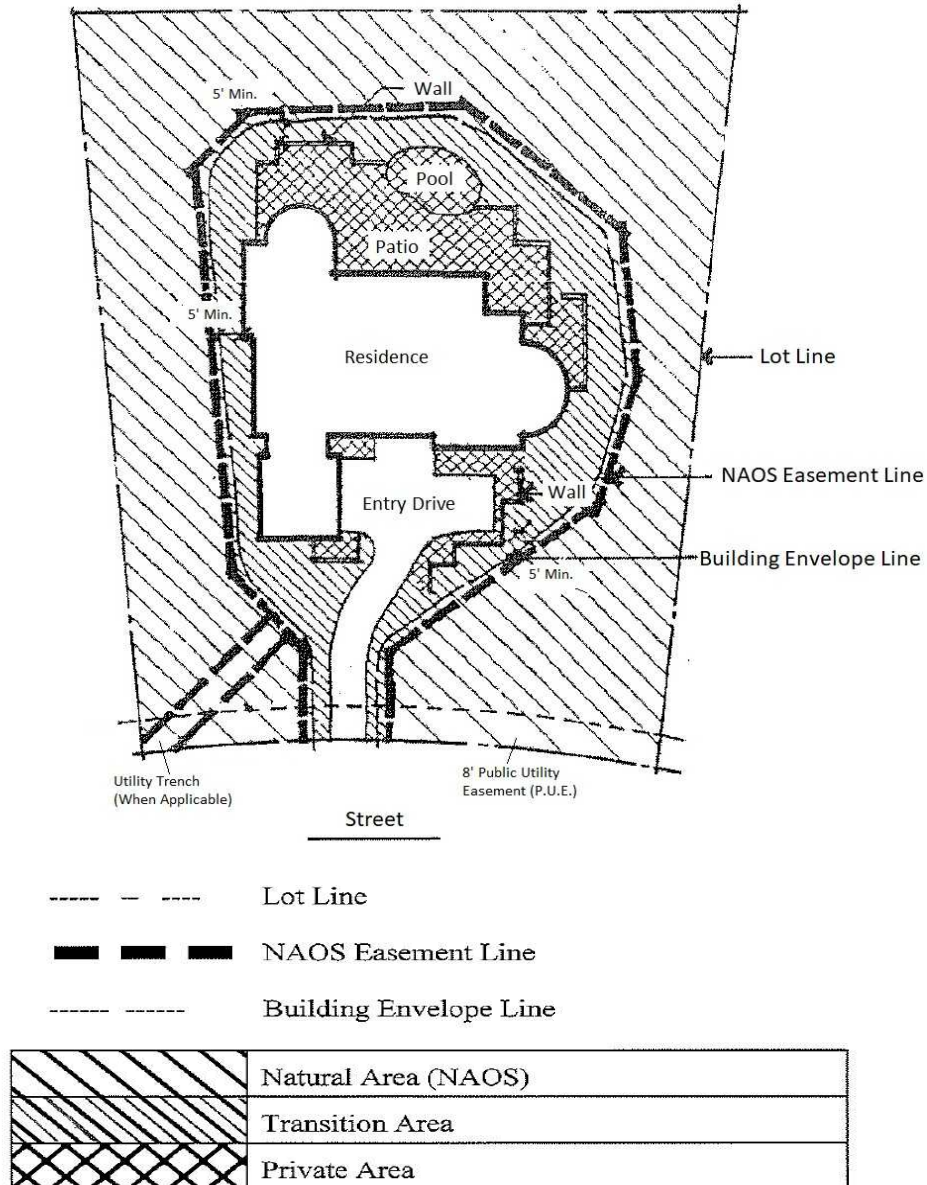
The Natural Area is that portion of the Lot (as designated on the following illustration), which lies outside of the Building Envelope and must remain as natural desert in accordance with City regulations. Additional plant material may be added in the Natural Area if specific approval is granted by the City and the Committee. If allowed, only plants indigenous to the general area of development may be used in the Natural Area. In addition, the density and mix of any added plant material in the Natural Area should approximate the density and mix found in the general area. Irrigation of the Natural Area is not permitted since the indigenous vegetation does not require additional water. Irrigation of the Natural Area can lead to disease and death of the native plants, particularly cactus, and aid in the spread of undesirable plant species or weeds. After approval of the Final Submittal by the Committee, the Owner will be required by the City to execute and record a Natural Area Easement in the form required by the City, to include a satisfactory legal description of the Natural Area Open Space (NAOS), which may require the preparation of a survey of the Lot at the Owner's expense, and which can be amended after recording only with the approval of the Committee and City. The NAOS area provided and recorded with the City must be equal to or greater than the NAOS required for the Lot.

3.3 TRANSITIONAL AREA

The Transitional Area is that part of the Building Envelope (as designated on the following illustration) which lies between the Natural Area and the wall of a Residence or other Improvement. Upon completion of construction, this area must be replanted to match the adjacent Natural Area in appearance. An irrigation system, carefully designed to avoid over spray or runoff onto the Natural Area, may be installed to maintain the transitional planting until it has become established (approximately 1 year). Once the plants are established, use of the system must be discontinued. Only indigenous plant material as specifically identified on the Approved Plant List (Appendix "C") may be planted in the Transitional Area.

3.4 PRIVATE AREA

The Private Area is that part of the Building Envelope (as designated on the following illustration) which is within the site walls and patios or is located in the immediate vicinity of the entrance to the Residence. The Private Area is the least restrictive in terms of what plants, shrubs, and trees can be planted therein. These include those plant materials listed in the Approved Plant List (Appendix "C") and, if first approved in writing by the Committee, any other plant not included in the Prohibited Plant List (Appendix "D"). The Private Area includes, for example, a courtyard, entry, or atrium, or the area behind a patio wall where non-indigenous plants would be appropriate despite their increased watering needs. In keeping with the goal to harmonize with the natural desert, the visibility of lawns and other non-indigenous plants from a street, Common Area, or Adjacent Lot must be minimized.



Restored Natural Area (50% NAOS Credit) - Narrow gap between Building envelope line and NAOS Area

3.5 MINIMUM SETBACKS

The minimum building setbacks are administered by the City of Scottsdale and this building setback information is available from the City. The Building Envelopes as per the Building Envelope Exhibit may require greater setbacks than the minimum standards of the City approved for this project. The minimum City setbacks are not grounds for any increases in a Building Envelope. As a general rule, the setback requirements are 60 feet from the street and 35 feet from adjacent lots. The owner is responsible for determining the actual city setback requirements of the lot prior to construction.

3.6 SITE WORK

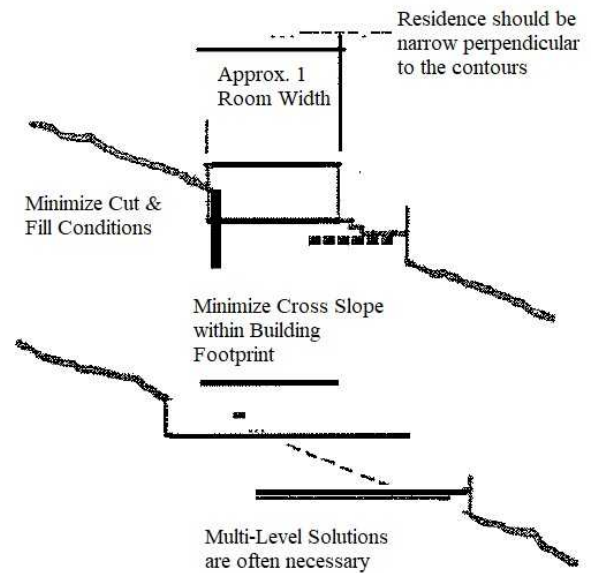
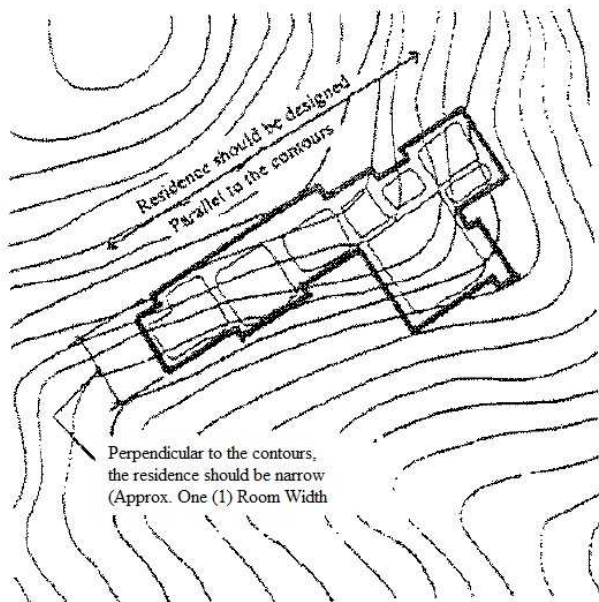
Typically, Residences and other Improvements should be nestled into the land, remaining low, so as to be part of the site rather than being perched on it. For the most part, the topography within the Lots in Carefree Ranch may demand multi-level solutions where buildings and other Improvements step down slopes to follow existing contours and minimize Cut and Fill situations. (see Section 3.7 Cut & Fill). When the construction is completed, the finish grade around the Residence and site walls should lie against the walls as near as possible to the original angle of slope.

Once a preliminary plan is well enough defined, it is recommended that the corners of the building be staked out on the ungraded site and elevations taken at each corner with a transit. Using this information the design can be fine tuned or adjusted to minimize the structure's height by making it conform more closely to the existing contours.

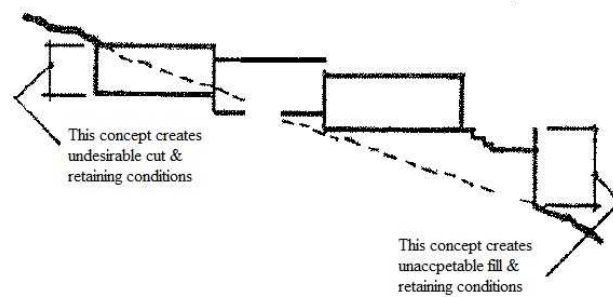
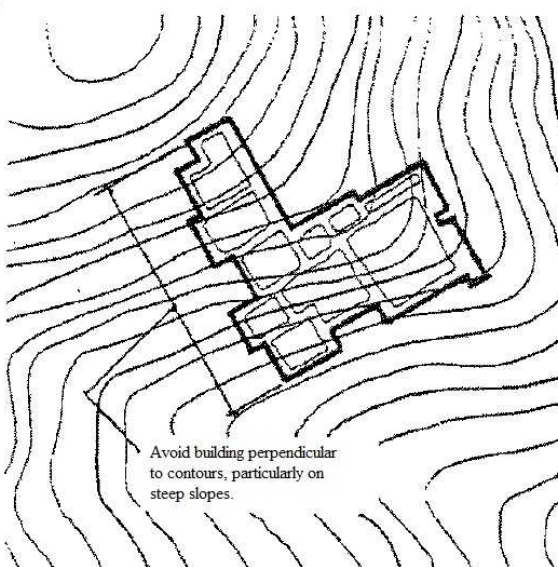
When preparing a preliminary site plan, consideration should be given to the impact of the proposed Residence on Adjacent Lots and Common Areas with respect to their privacy, view preservation, natural drainage, and ease of access.

While the natural topography varies considerably from Lot to Lot, the following general limitations will apply in the absence of special circumstances justifying exceptions as may be approved by the Committee:

- (a) No change in natural or existing drainage patterns for surface waters shall be made upon any Lot that could adversely affect another Lot, Common Area, or open space.
- (b) No Protected Plants, as defined by the City of Scottsdale's Native Plant Ordinance, shall be damaged, destroyed, or removed from any Lot, although such plants within the Building Envelope and outside the Natural Area Easement may be relocated. Protected plants are subject to the requirements and restrictions of the City's Native Plant Ordinance.
- (c) Residences and other Improvements must be designed to nestle into the existing terrain and contours on each Lot. For Lots which are located in more rugged terrain multi-level solutions will be required in order to accommodate the grade changes within each Lot. For these steeply sloping Lots, it is unlikely that the Committee will approve a Residence that is primarily designed with a single floor level. It is also anticipated that the Residences in these area will need to be designed in a shallow manner, perpendicular to the contours; and in a wider manner, parallel to the contours in order to minimize the grade differential across the building footprint.



APPROPRIATE METHOD OF SITING A RESIDENCE TO FIT WITH THE NATURAL CONTOURS.



INAPPROPRIATE SITING METHOD DOES NOT APPROPRIATELY RESPOND TO NATURAL CONTOURS.

- (d) Retaining walls and other walls not directly supporting a building structure, except screen walls, shall typically not exceed twelve (12) feet in height, measured vertically from the lowest finished grade adjacent to the wall along the exterior side of the enclosure at the point of measurement. On a case-by-case basis, the Committee may consider heights in excess of twelve (12) feet when justified by topographic conditions and the extra height causes no adverse visual impact in the opinion of the Committee. An overall height of up to sixteen (16) feet may be achieved by use of more than one (1) retaining wall, provided a minimum planting area of ten (10) feet is provided between the two (2) walls. Subject to approval by the Committee, other acceptable methods of softening the appearance of retaining walls over twelve (12) feet in height include: landscaping with mature, indigenous trees or large shrubs; and/or utilizing a different texture and/or material for a portion of the wall.
- (e) Screen walls, walls not supporting a building structure or retaining earth, may not exceed five feet six inches (5'-6") in height measured from finished grade along the exterior side of the enclosure in the manner described above for retaining walls.
- (f) Decomposed granite used as a landscape material shall be 2" minus in size and shall match the color of the existing native granite specific to the Lot. Rounded pea gravel or 2" diameter and larger washed granite may not be used as a landscape or driveway material.
- (g) River run rock is not allowed for rip rap or other landscape treatments. Native granite indigenous to the site is allowed. See Section 3.10 of these Guidelines for specifics regarding rip rap.

3.7 CUT AND FILL

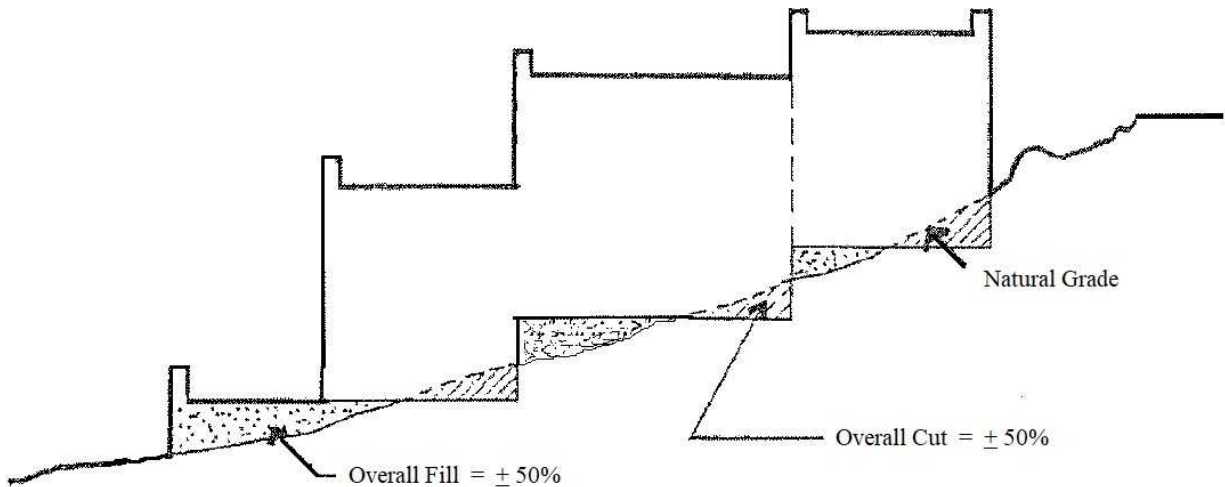
The intent of this section is to have the Residence nestle into the natural landforms. The various landforms and slopes require different treatments of the Cut and Fill conditions to create a Residence that nestles into the existing site and appears as an extension of the natural landforms.

Wherever possible, significant Cut and Fill conditions should be contained within retaining walls or within the Improvements as to avoid Cut and Fill slopes from being exposed. Cut and Fill conditions will also vary depending on whether the Residence and other Improvements are on a single level or terraced multi-levels to fit with the topography. Cut and Fill conditions are evaluated based on conditions directly under the footprint of the Residence, as well as for the overall site Improvements, patios and driveways. Therefore, the following guidelines address the general Cut and Fill situations. Evaluation of a proposed Residence will be based on conformance with these Cut and Fill Guidelines. The Committee may request that the proposed finished floor elevations be adjusted due to Cut and Fill conditions regardless of compliance with Section 4.3 Building Heights. Cut and Fill conditions must meet the intent and goals of these Cut and Fill guidelines as well as

their technical application. The Committee may allow exceptions, on a case-by-case basis, to the technical Cut and Fill guidelines when, in the opinion of the Committee, the objectives and intent of these Guidelines are still met.

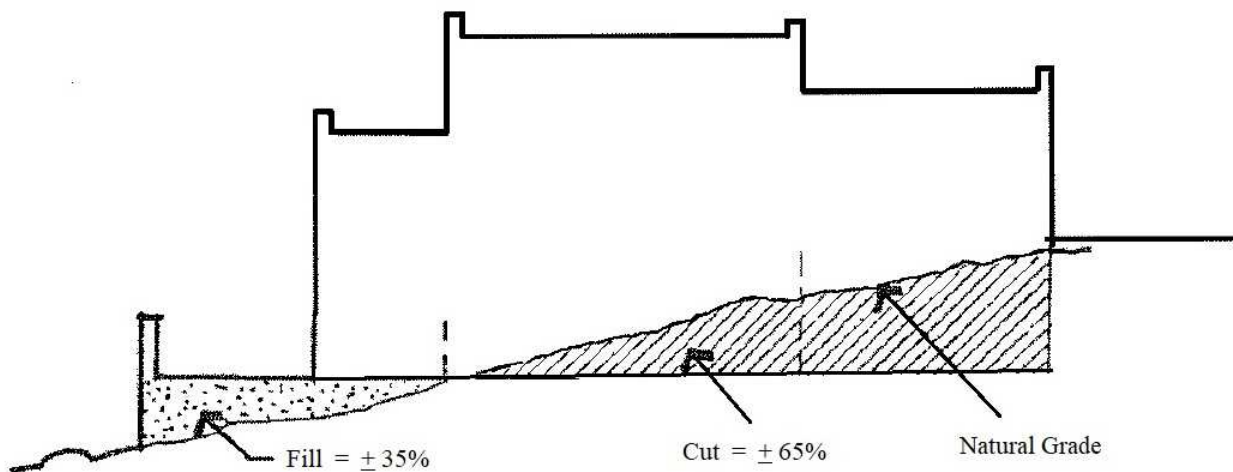
(a) **Sloping Site - Terraced Floor Levels**

In cases where the Building Envelope slopes generally in one direction and the Residence and other Improvements are on multiple floor levels that step down with the terrain, the Cut and Fill conditions shall generally be as follows:



(b) **Sloping Site - Single Floor Level** (*See Section 3.6(c) for limitations*)

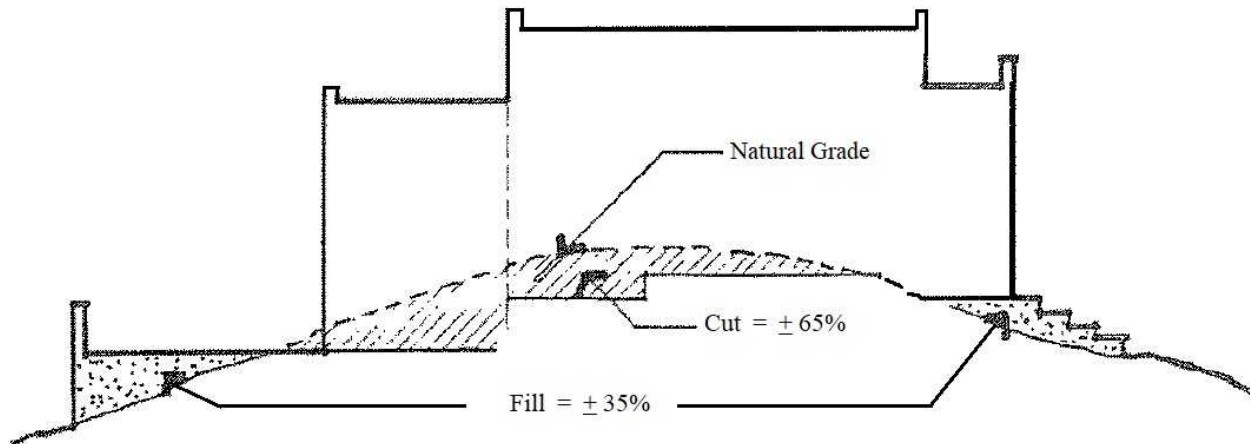
In cases where the Building Envelope slopes generally in one direction and the Residence and other Improvements are primarily on a single floor level, the Cut and Fill conditions shall generally be as follows:



Sloping Site - Single Floor Level

(c) **Ridge or Knoll-Terraced Floor Level**

In cases where the Building Envelope is generally located on a ridge, knoll, or other high point and the Residence and other Improvements are on multiple floor levels that step down the terrain, the Cut and Fill conditions shall generally be as follows:

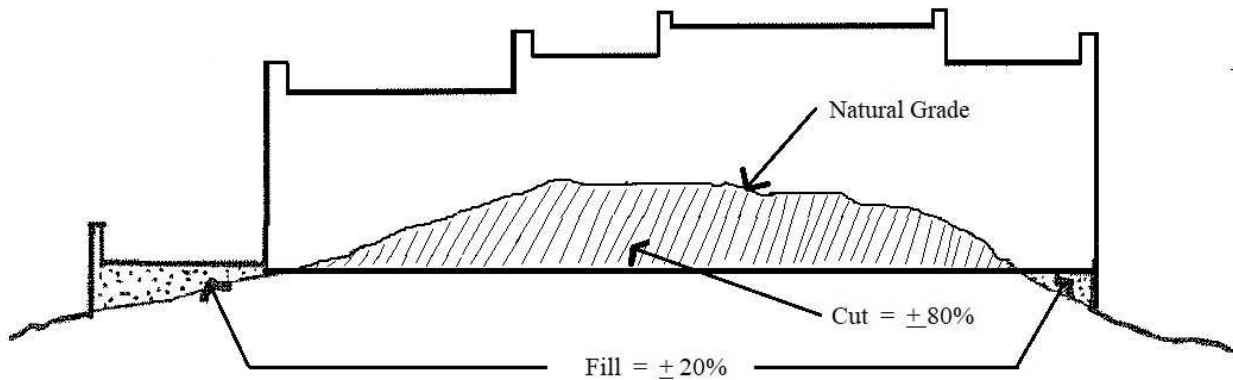


Ridge of Knoll Site - Terraced Floor Levels

(d) **Ridge or Knoll Site-Terraced Floor Levels**

Ridge or Knoll-Single Floor Level (*See Section 3.6(c) for limitations*)

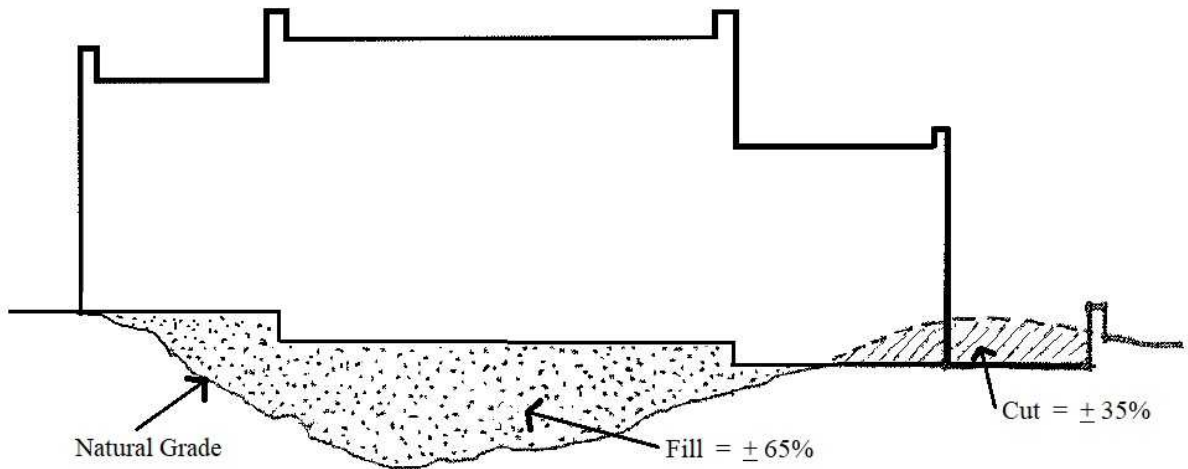
In cases where the Building Envelope is generally located on a ridge, knoll or other high point and the Residence and other Improvements are primarily on a single level, the Cut and Fill conditions shall generally be as follows:



Ridge or Knoll Site - Single Floor Level

(e) **Low Center - Terraced Floor Levels**

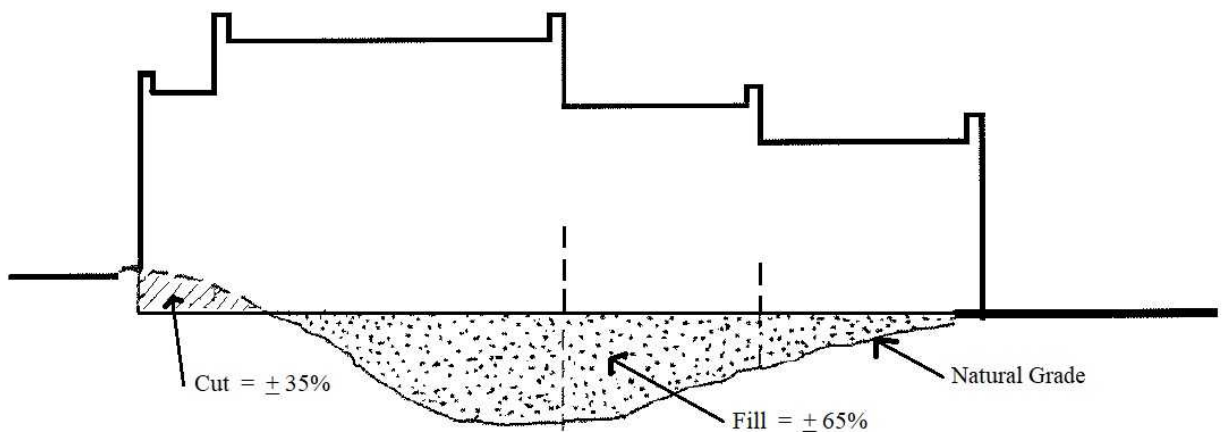
In cases where the Building Envelope is generally located in the low area of a Lot, in a low minor drainage way, or in other similar depressed areas and the Residence and other Improvements are on multiple floor levels that step with the terrain, the Cut and Fill conditions shall generally be as follows:



Low Center Site - Terraced Floor Levels

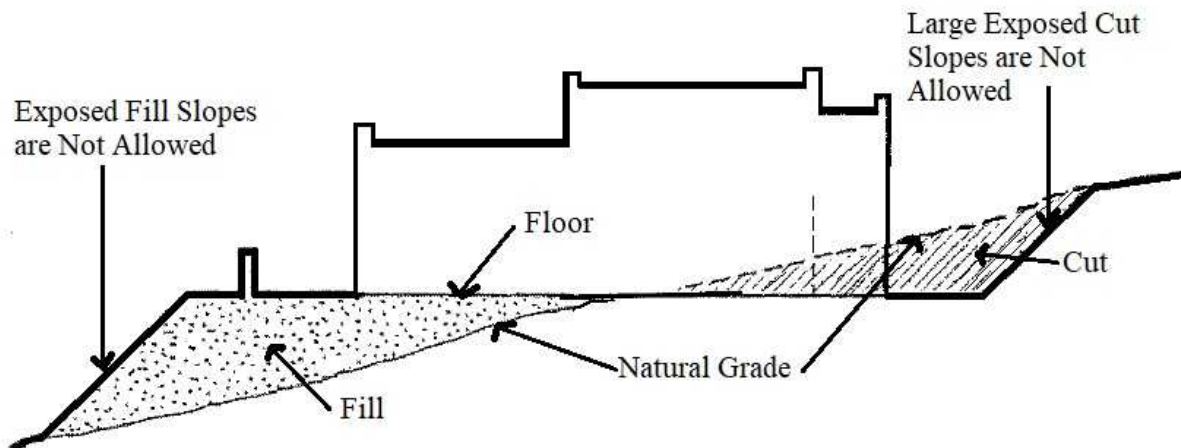
(f) **Low Center -Single Floor Level** (See Section 3.6(c) for limitations)

In cases where the Building Envelope is generally located in the low area of the Lot, in a low minor drainage way, or in other similar depressed areas and the Residence and other Improvements are primarily on a single floor level, the Cut and Fill conditions shall generally be as follows:

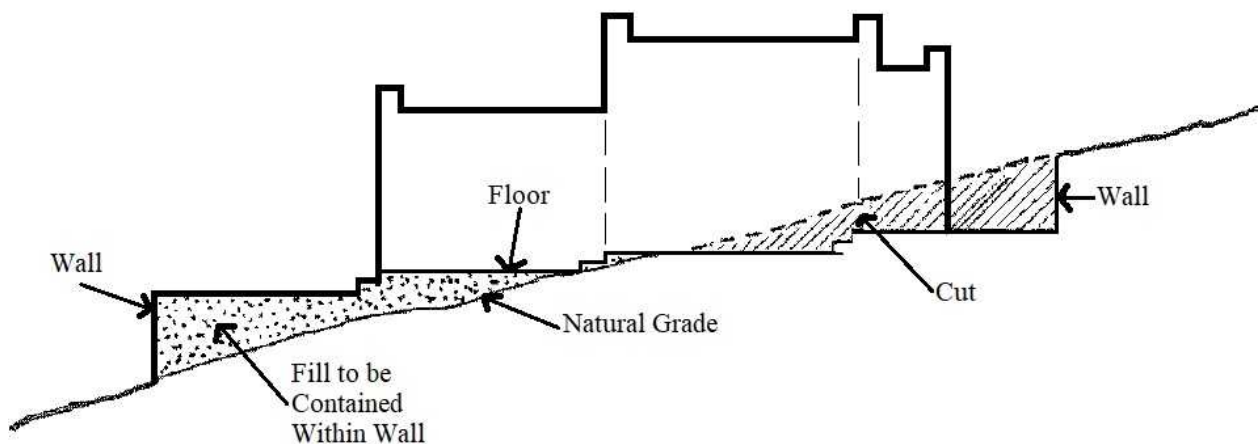


Low Center Site - Single Floor Level

- (g) Cut and Fill slopes may not remain exposed following completion of construction (see sketch). "Flat pads" will not be allowed to extend beyond the perimeter of the building and/or site walls. Cut slopes may be regraded and naturally contoured to match existing terrain if all grading is contained within the Building Envelope and if, in the opinion of the Committee, the regraded slope will have a natural appearance upon completion.



Unacceptable Cut & Fill Technique



Approved Cut & Fill Technique

3.8 WASHES AND DRAINAGE EASEMENTS

These natural drainage ways occur frequently throughout Carefree Ranch and should not be obstructed. Structures and other Improvements should be sited to avoid these washes, although they can be sited near the edge of a wash.

Drainage easements have been established encompassing some washes with projected 100-year storm flows greater than fifty (50) cubic feet per second. These easements are areas of special consideration due to the potential for water flows of a high volume and must remain unaltered and unobstructed. As with any wash, Improvements should avoid these easement areas. Improvements considered to be absolutely necessary within a drainage way should be designed and constructed to bridge these easements; however, in such cases, if required by the Committee, a backwater flood analysis prepared by a civil engineer licensed in the state of Arizona and ensuring the safety and feasibility of the design, must be submitted and will be subject to review by a licensed civil engineer retained by the Committee.

Driveways that cross established easements are required to use culverts or other similar drainage structures that will convey the drainage flow equal to the culverts downstream at the street crossings and in accordance with City drainage standards. A qualified civil engineer licensed in the state of Arizona should be retained to prepare the necessary drainage design for these situations.

3.8 SITE DRAINAGE AND GRADING

Site drainage and grading must be done with minimum disruption to the Lot. Structures, roads, driveways and any other Improvement should be designed to fit the existing contours of the site, minimizing Excavation rather than altering the site to fit a poorly designed structure or Improvement. Surface drainage shall not drain to Adjacent Lots, Common Areas or open spaces except as established by natural drainage patterns, nor cause a condition that could lead to off site soil erosion on to Adjacent Lots, Common Areas or open spaces.

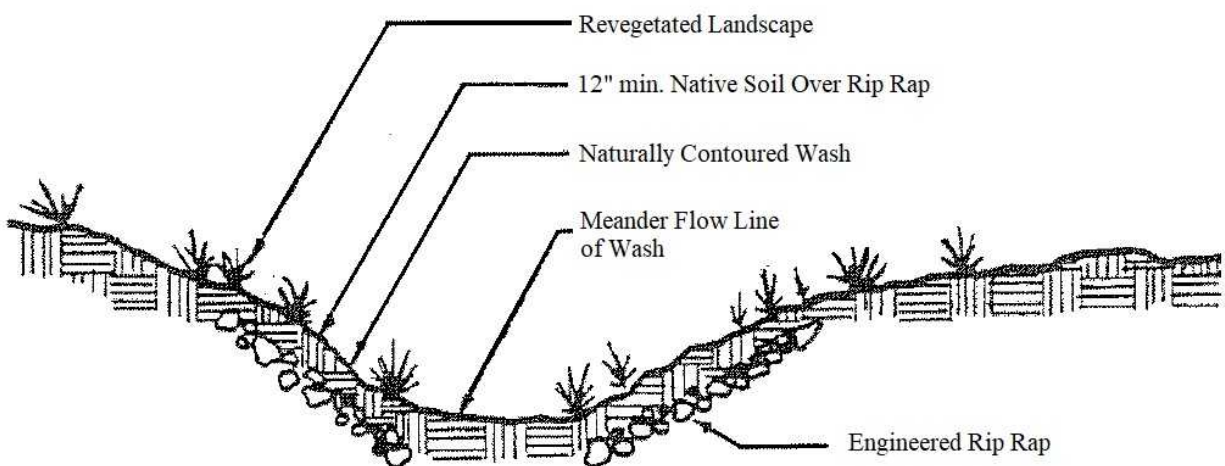
Designs should carefully evaluate the erosion potential and safety of the site drainage based upon the percentage and direction of slope, soil type and vegetation cover. When a change in the natural drainage way within a given Lot is absolutely necessary, avoid right angle diversions, and create positive drainage in a logical and natural manner. Any changes in a drainage way shall require contour grading and mature landscape to return the drainage way to a natural looking appearance.

It is the intent of these Guidelines to discourage excessive Cut and Fill and no grading may be done outside the Building Envelope unless such grading is proven to be the only means of providing necessary flood protection. Any alterations to washes carrying fifty (50) cubic feet per second or more resulting from a 100-year, two-hour storm may require special consideration for approval by the Committee.

If culverts are used at any location, concrete culverts are preferred instead of corrugated metal culverts. In either case, the inside of the culvert must be painted a minimum distance of two times the opening of the culvert at each end. For example, if an 18" diameter culvert is used, the inside must be painted a minimum distance of 36" from each end. Colors should match the building site walls or natural earth colors. The termination of culverts, including the use of headwalls, must result in a well-designed termination with finished edges. Rough, bent or chipped ends of culverts must not be exposed.

3.10 RIP RAP AND EROSION PROTECTION

If rip rap or other rock-type methods of erosion control are proposed for significant drainage ways, the drainage way must be naturally contoured and the rip rap or rock must be covered with a minimum of 8" of native soil and revegetation. This method can still provide the necessary engineered erosion control, but creates a more natural looking drainage way that blends with the natural environment and topographic conditions. River run rock or other rounded stones will not be allowed as a rip rap material.

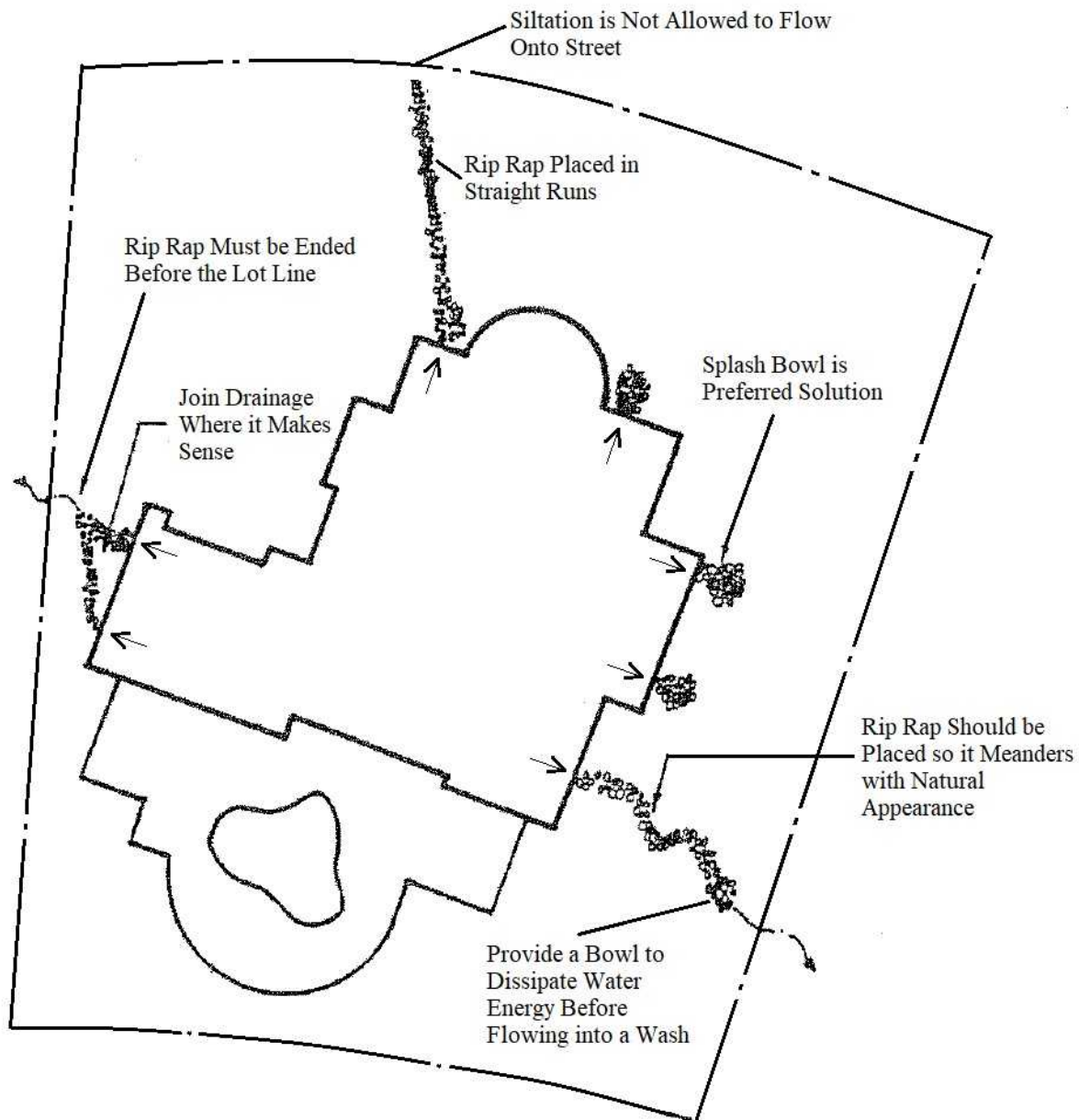


Suggested Erosion Control for Significant Drainage Ways

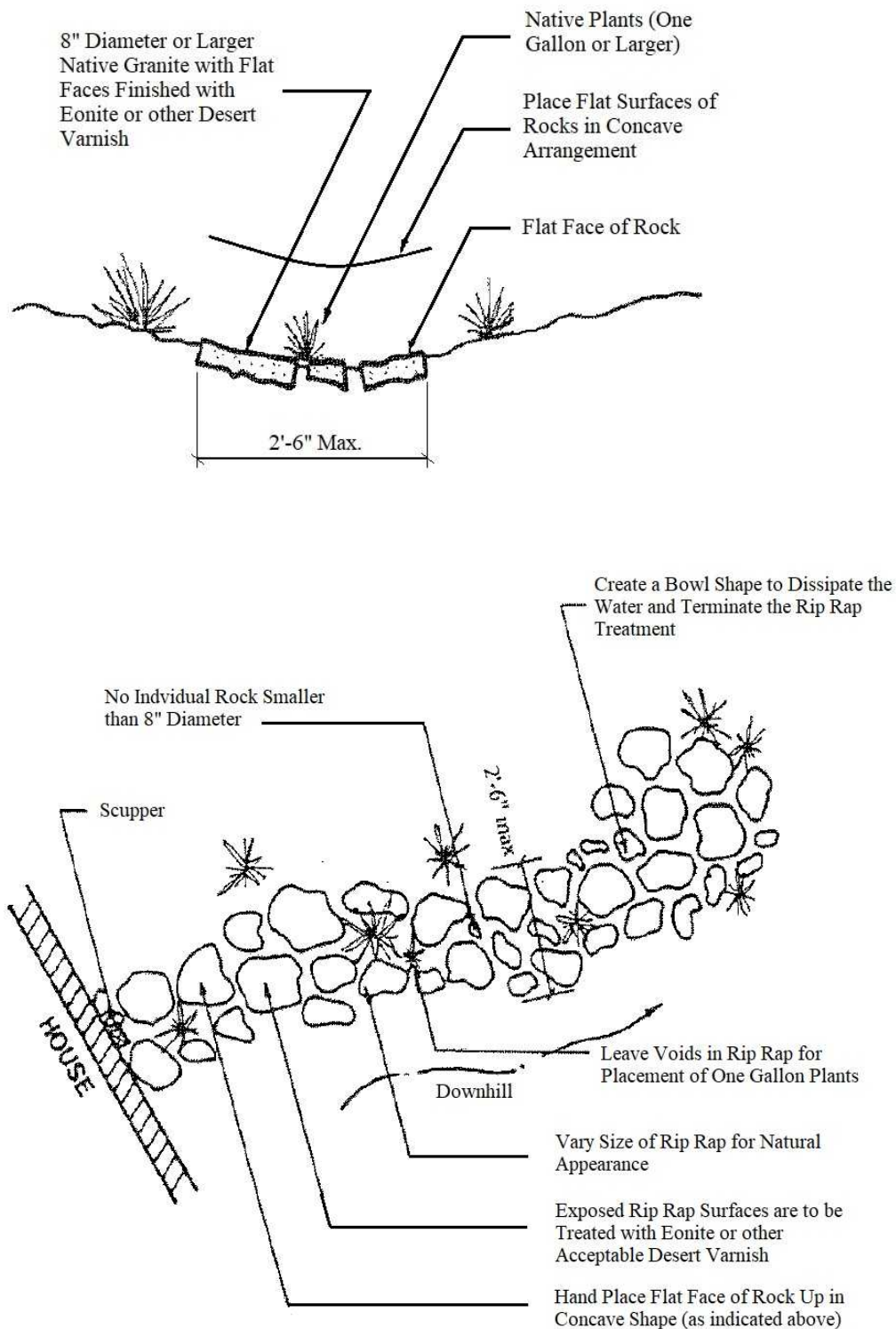
Rip rap is also a common method of erosion control for minor surface drainage and scupper or downspout splash areas. When properly designed and installed, rip rap can have an attractive natural appearance that blends with the natural desert floor while still providing erosion control. If used, flat-faced rip rap should be hand placed with the flat faces up to create a concave surface plane. Spaces or voids between the rocks should be provided to accommodate small desert plants and shrubs. All exposed rocks should be treated with a desert varnish such as eonite in order to make the rip rap blend with the natural desert floor. The patterns of rip rap should appear natural and straight alignments are not allowed. Rip rap material should be typically 8" in diameter or larger as smaller rock does not create the same natural appearance. River run rock or other rounded stones will not be allowed as a rip rap material.

At scupper and downspout locations, it is preferred to create a splash bowl that will dissipate the energy of the water and allow it to naturally drain across the surface of the desert floor, instead of long ribbons of rip rap drainage patterns.

The proper design and installation characteristics are outlined in the following illustrations:



Minor Erosion Control



Suggested Minor Erosion Control

3.11 LANDSCAPE

The goal of these landscape guidelines is to ensure that developed areas within Carefree Ranch harmonize and blend with, rather than dominate, the natural environment. This sensitive approach to landscaping will help protect and preserve the wildlife and flora that contribute to the unique experience of living within a desert environment.

Many desert plants that are common in the Upper Sonoran Desert and North Scottsdale may not be appropriate to Carefree Ranch due to the high elevations and cooler temperatures. Plants that are not frost tolerant should be avoided as they will not survive the cooler temperatures. A qualified landscape architect who is knowledgeable about the environmental conditions of the most upper reaches of the Sonoran Desert can be helpful in selecting plant material that will grow healthy and be appropriate for this sensitive area.

The indigenous landscape palette is abundant in regard to the number of species and the variety of unusual forms it has to offer. Native trees provide shade and appropriate scale to the built environment. Native cacti, yucca and agave provide sculptural elements and interesting texture to a landscape. Native shrubs not only provide screening and stabilization of the desert floor but provide cover for birds and other wildlife. An added benefit is lower maintenance, as these plant materials are already adapted to the dry desert climate.

Like the architecture of each Residence, the landscape should be tailored to fit the unique features found on each Lot. Transitional Area landscaping may vary from Lot to Lot in regard to palette and plant densities in order to respond more specifically to the microclimate of the area. A good method for developing an appropriate landscape palette within Transitional Areas is to record the types and density of the existing vegetation prior to disturbance of the Lot.

The landscape should be considered an integral part of the architecture and should be a factor in the initial site planning process. The Natural Area surrounding each building site provides an instant "mature" landscape setting. Siting of interior spaces should take into consideration this protected landscape when orienting and framing views. Likewise, the addition and placement of landscape materials used to restore the Transitional Area and to enhance the Private Areas should be carefully considered. Plants provide another dimension to the architecture and are useful for augmenting and/or solving architectural or harsh environmental conditions. Trees can enhance a view by creating a soft framework for viewing. Trees and plants can mitigate extreme climatic conditions. Deciduous trees placed beyond a south or west-facing wall will provide shade and natural cooling in the summer and will allow the sun to penetrate in the winter.

More information is available on native desert plants through several good sources in the area including the Desert Botanical Gardens and the Arizona Municipal Water Users Association or you may contact a landscape architect or designer with knowledge in native plants.

The Approved Plant List (Appendix "C") in these Guidelines includes an extensive list of indigenous and arid-region plant materials suitable for use within Carefree Ranch. Use of indigenous species

should not be limited to Transitional Area but should also be considered for use within the Private Areas. The Committee may consider other plant materials that may not be listed on the Approved Plant List (Appendix "C") provided they are not on the Prohibited Plant List (Appendix "D") and provided specific approval is obtained from the Committee.

Proposed landscape planting materials not on the Approved Plant List (Appendix "C") must be identified on the landscape drawings as such and the submittal must include a photograph and description of the plant for which approval is being requested. The Committee reserves the right to refuse any plant material it feels will not be beneficial to the environment of Carefree Ranch.

In the event of any violation of Sections 3.7 or 3.9 of these Guidelines, the Committee or the Association may cause the Lot to be restored to its state existing immediately prior to such violation; or, in the event of any violation of Section 3.6 (b) of these Guidelines, cause to be replaced any Protected Plant which has been improperly removed or destroyed with either a similar plant in type and size or with such other plant as the Committee may deem appropriate. The Owner of such Lot shall reimburse the Committee and the Association for all expenses incurred by them under this paragraph provided however that, with respect to the replacement of any plant, the Owner shall not be obligated to pay an amount in excess of the expenses which would have been incurred by the Committee or the Association had they elected to themselves replace the damaged, destroyed, or removed Protected Plant with a plant similar in type and size. In addition, certain fines might be imposed by the City under the City of Scottsdale's Native Plant Ordinance. The Committee shall have the right to require complete or partial landscape restoration of disturbed areas.

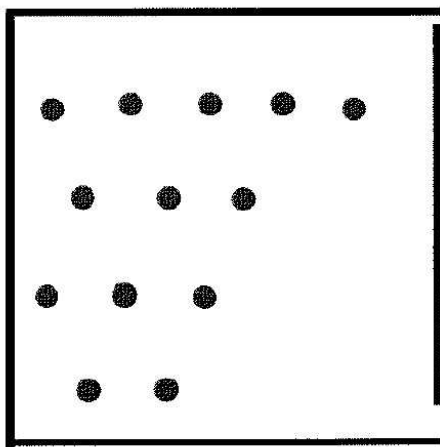
3.12 REVEGETATION

The goal and intent of revegetation is to restore any areas disturbed by construction or grading to a natural appearance such that upon maturity of the revegetation, the area matches the adjacent natural desert and appears as though it was never disturbed. Revegetation is required for all areas that are disturbed by grading or construction and located in the Transitional Area or any disturbed area not enclosed by the building or site walls. Revegetation included the combined use of trees, cacti, ground cover and seed, all of which are necessary to achieve the desired results. Revegetation plant material shall be planted in a density and arrangement that is similar to the adjacent undisturbed Natural Area. This revegetation landscaping must include only indigenous species specifically identified on the Approved Plant List (Appendix "C").

The desert ground cover (bushes and shrubs) must be revegetated using a minimum of fifty (50) one-gallon or larger plants per one thousand (1000) square feet. This minimum number of one-gallon or larger plants used for revegetating the ground cover should be placed in a natural pattern, similar to the illustration below, and not in a formal or geometric pattern. As exists in nature, the species of plant material used for revegetating the ground cover should consist of a minimum of 75% of the plants as the primary ground cover species (such as the Turpentine Bush and Wright's Buckwheat) and the remaining 25% or less as miscellaneous shrubs, bushes and cacti that are indigenous plants and on the Approved Plant List (Appendix "C"). An assignment

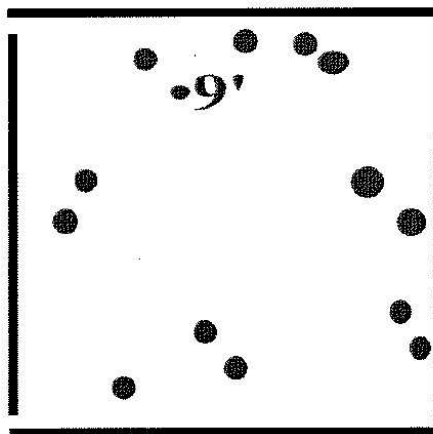
of too many types of plants will result in an unnatural appearance. A recommended revegetation ground cover plant mix is included in Appendix "C." This must be irrigated until established.

In addition, the use of a revegetation seed mix, similar to that recommended in Appendix "C", should provide a well-designed and natural looking area upon maturity of the revegetation plant material.



NO

Do not place vegetation in geometric massings as diagrammatically indicated above



YES

Randomly placed vegetation in Natural massings as diagrammatically indicated above

Revegetation Techniques

3.13 IRRIGATION

While indigenous plants and many of the arid-region plant materials can survive on little or no supplemental irrigation, irrigation during the establishment period is critical. Drip systems or hand watering versus traditional spray irrigation systems are the required method of irrigation for desert areas. Drip systems deliver water directly to the root zone. This results in lower water usage due to efficient applications, less impact to the micro-climate as evaporation is decreased, and decreased weed growth as areas between shrubs are not irrigated. Spray irrigation systems shall be limited to turf areas because of the inefficiency and the effect the spray has on the micro-climate. All irrigation systems shall operate on an automatic timer. Irrigation within the Natural Areas is not allowed except for special circumstances where specific approval is granted by the Committee to add additional trees in the Natural Areas. In this case, the irrigation system must be designed to be an above ground temporary system that will minimally impact the Natural Areas. Temporary irrigation systems established within the Transitional Areas must be designed to eliminate run-off into the adjacent Natural Areas. Established native vegetation does not need irrigation and supplemental water can lead to disease and death of many of these plants and aid in the spread of undesirable plant species or weeds.

3.14 LANDSCAPE MAINTENANCE

Each Owner is required to maintain the landscape on their Lot in such a manner that it does not become visually unattractive, overgrown, or otherwise not in keeping with these Guidelines or the CC&R's. In general, the Natural Area and the Transitional Area should require minimal maintenance since they are intended to appear the same as the undisturbed desert. Maintenance in the Natural Area and Transitional Area should be limited to the removal of dead plant material, the removal of defined weeds or other plant materials not listed in Appendix "C," and the control of grasses through the use of appropriate methods. The landscape in the Natural Area and the Transitional Area should not have a manicured or groomed appearance and should not be kept clean of all small native grasses and plant material exposing a bare desert floor. These areas should be maintained in such a manner that they resemble in appearance the undisturbed natural desert. The maintenance of an area around a home that is clear of vegetation is not allowed. The maintenance of landscape within the Private Area shall be such that the plant material does not become overgrown or appear unattractive. The landscape areas between the Private Area and the Transitional Area that are not clearly divided by site walls should naturally transition the level of maintenance so as not to create a clear line of demarcation between the two zones.

The Committee and the Association reserve all rights to cause the maintenance of the landscape in accordance with these Guidelines and CC&Rs including the imposition of fines.

3.15 PROHIBITED PLANT LIST

The plant materials set forth in the Prohibited Plant List (Appendix "D") include species with characteristics, which are potentially destructive to the Natural Areas and indigenous plants by reason of profuse and noxious pollen, excessive height, weed like characteristics of excessive growth and high water demands. Under no circumstances is it permissible to plant any Prohibited Plant in Carefree Ranch.

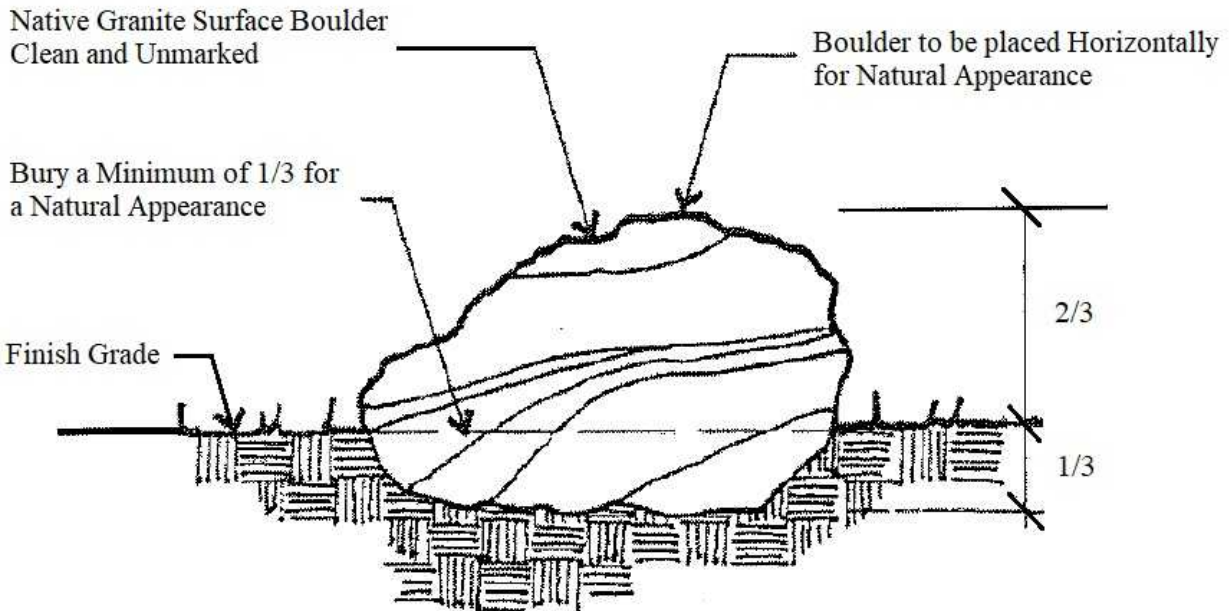
3.16 PROTECTED PLANTS

Protected Plants are those desert plants that must be protected pursuant to City regulations. Improvements should be sited to avoid these protected species if at all possible, however they may be carefully transplanted. It is recommended that competent professionals be consulted prior to transplanting any desert plant materials and the Committee may require replacement of any plant which dies during transplanting out with a plant of the same species and size. It is recommended that the Owner and Architect become familiar with all the requirements of the current City of Scottsdale Native Plant Ordinance.

3.17 LANDSCAPE BOULDERS

The use of additional boulders as part of the site and landscape design requires special attention to the scale and proportions of the boulders. The addition of boulder elements into the landscape and site design needs to consider the scale of the existing elements. For example, an added boulder feature of several small (3' diameter or smaller) boulders would seem unnatural and out of character against the dramatic existing background. Detailed design sketches and/or photographs will be required to be submitted to the Committee with the Preliminary Submittal and Final Submittal if additional boulder features are proposed.

If additional boulders are proposed or existing boulders moved, they must be placed in a natural arrangement with the boulders being placed horizontal, not vertical, with a minimum of one-third ($\frac{1}{3}$) of the boulder buried into the ground. Boulders should be naturally clustered, not "lined up" or evenly scattered. The color of potential additional boulders should match the color of the granite boulders native to Carefree Ranch. Broken or crushed surfaces of boulders may not be exposed.



Boulder Placement

3.18 MINERAL LANDSCAPE FEATURES

Boulders, gravels, mineral ground covers, and similar features will be limited either to materials indigenous to the desert or to materials similar in color and appearance to indigenous materials. Decomposed granite used as a landscape material is to be a maximum of 2" minus in size and similar in color to the native ground. Washed granite that is 2" diameter or larger is not allowed in the Natural Area or Transitional Area. Detailed design sketches or photographs may be required to clarify boulder installations of significance.

3.19 FIRE PROTECTION

Because of the remote location and steep terrain, Owners may wish to consider an exterior perimeter irrigation system for protection from potential wildfires from off-site. The system may consist of a series of irrigation sprinklers located at the perimeter of the Residence or site walls that would have sufficient spray to wet the perimeter of the Improvements to deter a fire. Residences with a pool may want to consider a system that integrates the pool as a water supply and includes an alternate power source in case of power failure. The Committee makes no recommendation or warranties for such a system, but only mentions it for consideration of each Owner.

3.20 EXTERIOR LIGHTING

The Carefree Ranch philosophy of the predominance of undisturbed desert extends to nighttime as well as daytime views. In order to preserve the dramatic views of city lights and the night sky, which tend to be obscured by excessive local lighting, the Committee has established the following guidelines for residential site lighting.

Site lighting is defined as lighting mounted on the ground, in trees on site walls for the purpose of providing security or decorative accent lighting.

Building mounted lighting is defined as lighting built into or attached to buildings on walls, ceilings, eaves, soffits or fascias for the purpose of providing general illumination, area illumination or security illumination.

- (a) Site lighting must be directed onto vegetation or prominent site features such as boulders and may not be used to light walls or building elements.
- (b) Building mounted lighting must be directed downward away from Adjacent Lots, Common Areas, streets and open spaces and may not be used to light walls or building elements for decorative purposes.
- (c) All exterior lighting must provide for significant shielding to ensure that light sources and lamps are not Visible from Neighboring Property; no bare lamps will be permitted. Recessed lights in exterior soffits, eaves, or ceilings shall have the lamp recessed a minimum of three inches (3") into the ceiling.
- (d) Only incandescent lamps with a maximum wattage of seventy-five (75) watts will be allowed for exterior lighting unless specific approval is received from the Committee. Low voltage lighting is recommended, since these fixtures are typically small and can be easily concealed within the native vegetation. Colored lights will not be allowed for exterior lighting.

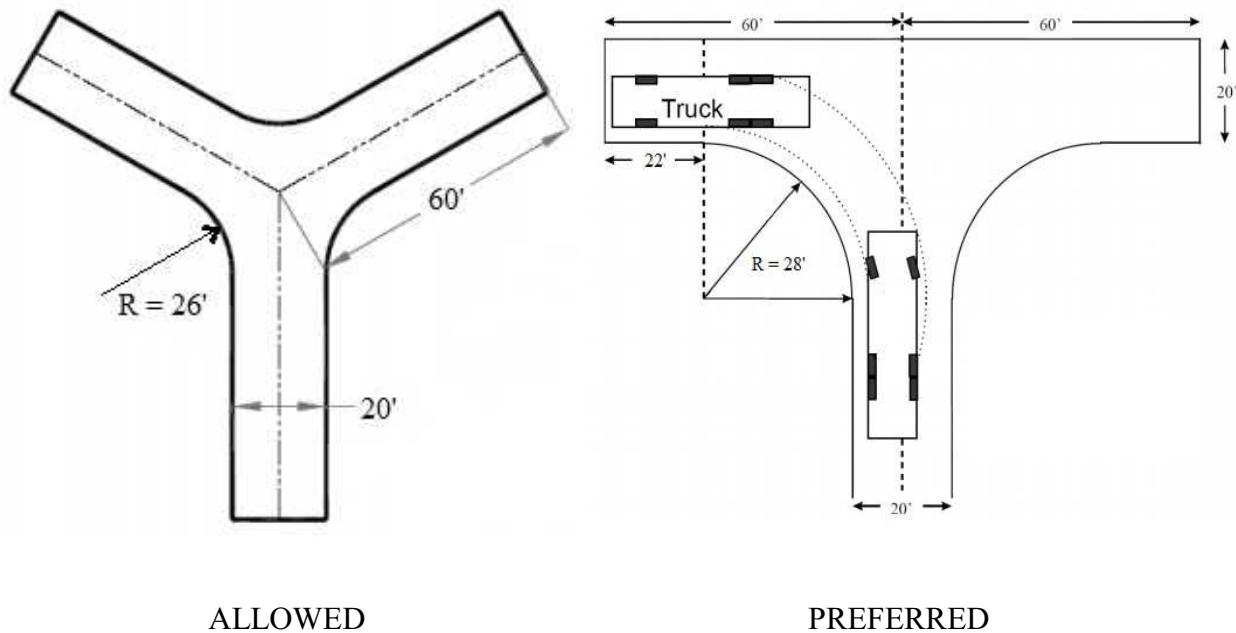
- (e) No lighting will be permitted in Natural Areas or outside areas enclosed by patio or building walls. Site lighting must be confined to areas enclosed by walls or be in the immediate vicinity of the main entrance to the Residence.
- (f) Lighting of driveways and parking areas shall be subject to restrictions set forth in Section 3.21.
- (g) Lights on motion detectors for the purpose of security illumination are strongly discouraged but may be allowed subject to specific approval of the Committee. If allowed by the Committee, these lights will only be allowed to operate on a motion detector and stay lit for a maximum of twenty (20) continuous minutes. Security lights must still meet the requirements of shielding of the light sources and the light sources should not be visible from Neighboring Property. If problems with these lights occur, the Committee, and the Association, reserves the right to demand that the fixtures be disconnected. If allowed, care must be taken to avoid setting off the motion detector by the motion of vegetation and the movement of wildlife. These lights will not be allowed to operate for the purpose of general illumination.
- (h) The color of the light fixture, and its shield, housing or trim, including exterior soffit lights, shall be compatible with the building color and must meet the Light Reflectance Value (LRV) requirements of these Guidelines.

3.21 ENTRANCE DRIVEWAYS

Entrance driveways should be located so as to minimize their visual impact on important natural features of a Lot such as large or significant plant materials, boulders, washes, or drainage ways. Driveways shall be a maximum of twelve (12) feet wide (except as provided below) at the property line and shall intersect the street preferably at a right angle, but at a minimum angle of seventy (70) degrees. Driveways should also be located in such a way as not to interfere with drainage in the right-of-way of the street. Only one driveway entrance off of the street will be permitted for each Lot, except that when three (3) or more Lots are tied together to create a single Lot, the Committee may, at its sole discretion, approve up to, but not exceeding, two (2) driveway entrances off of the street(s).

Lots in which the Residence is located more than one hundred fifty feet (150') from the street may be required by the fire department to have an approved fire truck turnaround within one hundred fifty feet (150') of the Residence. In this case, the maximum driveway width shall be sixteen feet (16') from the street to the point of the required fire truck turnaround. Current policies and standards should be verified with the applicable governmental agencies and regulations. The turnarounds should be integrated into the design of the overall driveway and guest parking areas of the site. This maneuvering area can be accomplished by the uses of a hard surface only (such as concrete), or a combination of a hard surface and native decomposed granite compacted to 95% compaction with no plant material within the required maneuvering area that is higher than two (2) feet tall at maturity.

The general minimum fire truck turnaround standards are provided in the following illustration.



- Fire truck turnaround must be within 150' of residence
- Driving surface must be able to support 250 lbs. / sq. ft.
- No obstructions, including shrubs, may be located within fire truck turnaround
- 12% maximum slope

Fire Truck Turnaround

All driveway surfaces will be required to be integrally colored exposed aggregate concrete or other approved stable driving surface. Integral color shall be a dark color with an LRV (Light Reflectance Value) of thirty (30) or less. The aggregate shall be 3/8" or larger with at least 33% of the aggregate colors being dark natural colors. Other hard and textural driveway surface materials such as pavers or cobbles may be considered for approval, if in the opinion of the Committee, the proposed material has minimal visual impact and minimum reflective values as viewed from Adjacent Lots or other off-site areas. Decomposed granite, asphalt, smooth- finished concrete and salt-finished concrete will not be allowed for driveway surfaces. The texture of the driveway surface should be considered due to the stoop slopes and potential for frost or slippery conditions.

The maximum slope of a private driveway shall be 20%, unless more restrictive limitations are imposed by the City or other governing body.

The lighting of driveways is strongly discouraged because of the negative visual impact from below. A series of lights up the foothills as viewed from a distance is not attractive to the overall community. If in the opinion of the Committee, lights along driveways do not create visual concerns, the Committee may approve driveway lights subject to the following criteria. Light fixtures may be mounted no higher than 18" above the driving surface. The fixtures must be located on the "downhill" side of the drive and aimed toward the "uphill" side of the drive. The light source must be fully screened from below including any light leak from the top of the fixture. Lights must only light the driveway surface and not retaining walls or landscape. The maximum footcandles allowed at any point beyond ten feet (10') from the fixture is 0.25 footcandles. Cut sheets and photometric charts of any proposed light fixtures must be submitted with the Final Submittal.

3.22 PARKING SPACES

Each Residence shall contain parking space within the Lot for at least two (2) vehicles in an enclosed garage either attached to or detached from the main structure of the Residence. A minimum of two (2) additional exterior parking spaces must be provided to accommodate guest parking. No on-street parking will be permitted for residents' vehicles or vehicles of their guests. Views of guest parking areas from Adjacent Lots, streets or other Common Areas must be mitigated and diffused by screen walls or a combination of screen walls and landscaping. Walls should be between thirty-six inches (36") and forty-eight inches (48") high. Landscaped berms may also be used if deemed appropriate by the Committee. No unenclosed storage of campers, trailers, motor homes, ATVs, boats, jet skis, watercraft nor any other type of recreational vehicle will be permitted, including within rear yards or open-air screened areas.

3.23 SWIMMING POOLS AND SPAS

Swimming pools and spas, if any, should be designed as being visually connected to the Residence through walls or courtyards, and the visual impact must be minimized from Adjacent Lots, streets and Common Areas, and from the on-site Natural Area. Swimming pools and spas must be constructed according to the City of Scottsdale ordinances, and other applicable regulations, including required fence and enclosure heights. Doors and gates leading to swimming pools and spas must meet the City of Scottsdale safety and closure regulations including doors that open directly from the Residence to any pool or spa area. The color of exposed tile on a negative edge pool must be dark or match the building color. No light or bright tile colors will be permitted on negative edge pools.

Based on policies by the City of Scottsdale, pool backwash or pool draining is not allowed to be disposed of in the sanitary sewer system. Due to environmental concerns, pool backwash and draining is not allowed to be disposed of into a wash or other natural drainage area. It is recommended that a drywell be constructed to allow for disposal of pool backwash and draining. Any applicable regulations governing disposal of pool water must be followed.

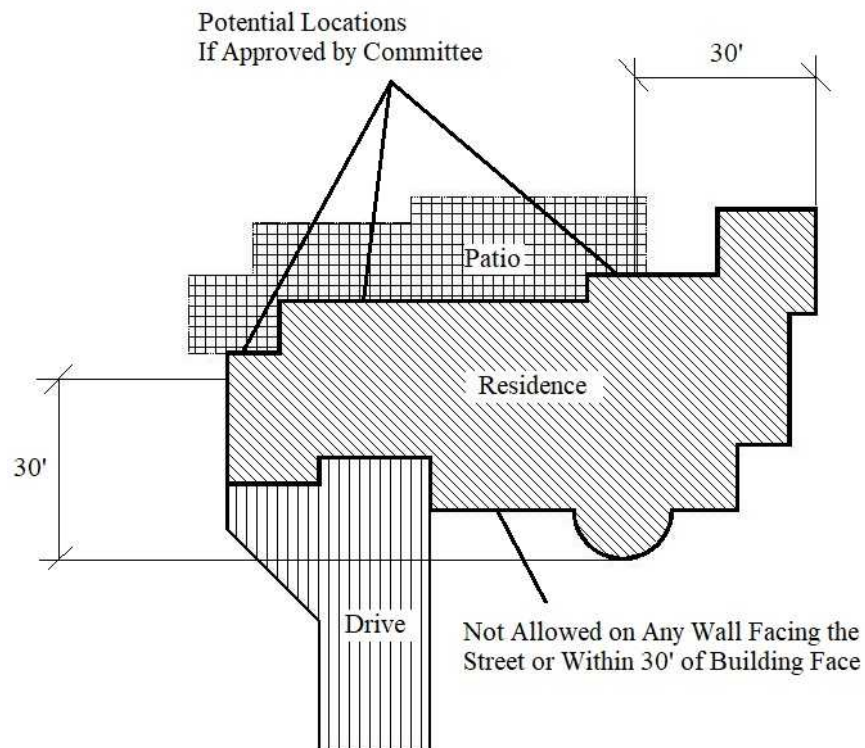
Pool equipment, including all valves, filters, blowers, conduits, backflow preventers, piping and controls, must not be Visible from Neighboring Property, streets, or Common Areas and must be enclosed by walls and a gate or other suitable screening methods to a height of 12" minimum above the equipment.

3.24 SPORTS / TENNIS COURTS

For reasons of noise control and aesthetics, sports/tennis courts will not be allowed on any Lots without specific approval of siting and lighting concerns by the committee.

3.25 BASKETBALL HOOPS

Basketball hoops and backboards may be installed at any Residence, when specifically approved in advance by the Committee. The installation of such items may be subject to stipulations imposed by the Committee based on specific review of the request. The basketball hoop and backboard must come down when no longer utilized. The intent is to locate a basketball hoop and backboard in the least visible area and away from view from the streets, golf course or Common Areas. Basketball hoops and backboards are not allowed in yards facing the street(s) nor on the face of a building that faces the street(s) nor on any wall within thirty feet (30') of the building face (as depicted on the following illustration). Backboards mounted on a building must be clear or painted to match the house, and the top of the backboard must be kept below the top of the parapet of the wall on which it is mounted. No backboards shall be allowed on a pitched roof. Backboards mounted on a pole must be either clear, painted to match the house, or painted flat verde green. The pole or support shall be painted black, dark brown or dark desert green. Poles must be removable. The Committee may require additional mature landscaping to screen any basketball hoops and backboards from Adjacent Lots, streets and Common Areas. Although the general guidelines of this section may be met by a proposed application, the Committee may refuse to allow a basketball hoop and backboard if, in its sole discretion, the Committee determines a negative impact would result.



Potential Building Mounted Basketball Hoop Locations

3.26 EXTERIOR RECREATIONAL OR PLAY EQUIPMENT

All exterior recreational or play equipment such as swing sets, slides, play structures, jungle gyms and similar equipment must meet the intent and requirements of all sections of these Guidelines, including color. This type of equipment or structures should be located in the least visible portions of the Lot and must not be visible from the golf course. In addition, every attempt to screen this equipment or structures from view of Adjacent Lots should be made including the installation of mature landscape. The height of this type of equipment shall be limited to a maximum of eight feet (8') above finished grade. Due to the fragile nature of the desert environment, tree houses or other play structures attached to native plants will not be allowed. All exterior recreational or play equipment requires specific approval of the Committee prior to installation.

3.27 ADDRESS IDENTIFICATION

Individual address identification devices for each approved Residence may be installed by the Owner of a Lot. Such devices must be subtle in design and utilize the same materials and colors as the Residence and reflect its design character. No "unique" identification devices will be permitted. No additional signage detached from the Residence will be permitted, except temporary construction signs or other signs as permitted by the Committee. The Committee may initially, or in the future, require installation of uniform address identification devices for all Lots, including Lots with previously constructed identification devices. The design of the address identification device should be submitted with the Final Submittal and must be approved by the Committee before installation.

3.28 EXTERIOR HOLIDAY DECORATIONS

The intent of this section is not to discourage decorating for holidays, but only to maintain a standard of quality fitting with a community like Carefree Ranch. Holiday decorations should be subtle, soft, and tasteful. Decoration displays should not have a commercial appearance and should not be "over done." The Committee reserves the right to prohibit any holiday decorations deemed inappropriate in the opinion of the Committee for the image of Carefree Ranch.

No "lawn ornament" type holiday decorations or plastic sculptures may be displayed on the exterior of the Residence. Decorations shall not be allowed to be mounted on roofs or located outside of the site walls or Building Envelope. Cut evergreen trees, decorated as Christmas trees, will not be allowed on the exterior of the Residence.

3.29 PRIVATE DRIVEWAY GATES

Private security or decorative gates for driveways are strongly discouraged and are considered undesirable from a community perspective. The Committee may, at its sole discretion, approve private security or decorative gates, but reserves all rights to prohibit such gates. If allowed, the height of such gates and any associated supports or walls shall not exceed forty-two inches (42") above the driveway surface and the width of the gate shall not exceed a total of seventeen feet (17'-0"). The face of the gate must be located a minimum of twenty-five feet (25'-0") from the back of the curb of the street. No signage or graphics may occur on the gates, other than address identification, and lighting, if any, shall be minimal. All structures, including keypads and operators, must be located within the Building Envelope and may not be located within the right-of-way of the private streets or within any easements, including Public Utility Easements. If approved by the Committee, the design of such gates must relate to the design character, materials and colors of the Residence and other Improvements.

Section 4

Architectural Design Guidelines

4.0 ARCHITECTURAL DESIGN GUIDELINES

Design Guidelines alone cannot legislate or cause good architecture. Good architecture is the result of a creative Owner, a talented design professional, a sound understanding of basic principles of quality architectural design, and an in-depth knowledge of the environmental and community context.

The following architectural standards have evolved in response to climatic, environmental and aesthetic considerations in Carefree Ranch.

4.1 DESIGN CHARACTER

These Guidelines do not intend to dictate architectural style for the design of a Residence within Carefree Ranch, although all designs must be of a character appropriate to the environment, climatic conditions, and community context. The Committee encourages creative architecture, but warns against architectural styles that are not appropriate for the desert or community context.

Due to the high visibility of the Lots from their neighbor lots within Carefree Ranch, the design character of a home has a greater impact on the community as a whole. The design character or "style" of all Residences and other Improvements must be appropriate to this mountainside location as determined in the opinion of the Design Committee. The overall goal is to create homes that blend into the natural terrain and have as little visual impact as possible when viewed from any adjacent area within the community. Simply stated, the less of the house that is noticeable from a distance, the better it achieves the goal of minimizing the visual impact.

While some designs may be "good" examples of architecture in themselves, if, in the opinion of the Committee, the design is not appropriate for the environmental context, the community context, and the overall visual context, it may still not be approved.

Although architectural "style" is not dictated, there are numerous principles of good architectural design that should be considered and included in the design of a Residence in Carefree Ranch. To facilitate in the explanation of these principles, the following guidelines are provided:

- The use of textural materials such as stone and masonry help to reduce the visual impact and scale of a Residence. As noted in this section, multiple exterior finish materials are desired for all Residences. The use of textural materials can dramatically improve the quality of a design when appropriately used. Stone and masonry elements should be used as strong "masses" and not thin planes, veneers, or floating elements.
- The use of broad overhangs can create dramatic voids, deep recesses, and strong canopies as well as providing protection from the weather and the sun.
- The use of proportions that emphasize the horizontal instead of the vertical are required. Since the slope of the Lots is typically steep, strong horizontal proportions will help keep the house from appearing too tall or vertical.

- The use of very dark-colored, textural sloped roofs such as clay tile, flat concrete tile, and black or “penny brown” copper assist in creating a variety of elements that, when appropriately composed, break down the boxy feel of typical parapet masses. Sloped roofs should appear as canopies with deep shadows and deep fascias that properly express the visual strength.
- The use of broad overhangs, recessed voids, sheltered windows and well articulated massing will create strong shadow lines with deep recesses. These shadows and recesses improve visual appearance of a house significantly, particularly when viewed from a distance.

Many design elements that have been widely accepted throughout other areas may not be appropriate for this highly visible site and should be avoided. Some of these elements include:

- Very dominate mass elements that are boxy or imposing on the overall composition.
- Dominant horizontal lines only or dominant vertical lines only. To create a design with repose, the vertical and horizontal elements should be composed to properly engage each other. Too much vertical or too much horizontal will not achieve a balanced design.
- Large expanses of monolithic materials, such as large, unbroken walls of stucco, long continuous retaining walls, or other large elements composed of a single material.
- Long stuccoed parapets over covered patios. This element has been widely used on the view side of homes, but the long continuous parapets need the relief of other materials or intersecting masses or planes.
- Boxy forms or an arbitrary collection of boxy forms. Simple parapet flat roofs arbitrarily composed may be considered inappropriate by the Committee since they lack shade, shadow, recess and repose.
- Long continuous lines or small chopped up masses.

The design character should create a Residence that blends with its environment instead of standing out against it. The design character of a Residence should be considered from all sides (including roofs), not just the front or rear elevations, and all elevations should maintain the same visual integrity, cohesiveness, and design detail. All designs should be textural with the use of multiple exterior materials, natural elements and complimenting colors to avoid monotone or “vanilla” homes.

The design and construction of all Residences and other Improvements should incorporate the use of at least two (2) different complementing materials on the exterior wall surfaces (in addition to roof and driveway materials), unless otherwise given specific approval by the Committee. The secondary or accent exterior wall material should cover at least 20% of the exterior building surface.

These complementing materials must be carefully articulated into an integrated whole and should not result in a home that appears like two (2) different structures forced together. The use of natural materials such as stone and adobe are strongly encouraged. Thin veneers of mass materials such as stone and adobe should be avoided, but instead these materials should be placed in natural mass forms that are true to the natural formations or authentic use of these materials and tie to the natural terrain.

Monochromatic color schemes will not be allowed, unless otherwise given specific approval by the Committee. The requirement for at least two (2) different complementing exterior wall materials will naturally create complementing color variations. In addition, the colors of fascias, roof materials, window frames, railing, etc., should be carefully selected to create a well composed palette of colors and textures that appear as an integrated visual composition.

The integration of pitched roof and flat roofs into the overall home design can add visual depth to the Residence, create welcoming shaded spaces, and add color and texture to the overall composition. Structures that consist of only bold mass or block forms are discouraged. The design of a Residence should carefully integrate mass forms with the overhangs, roof forms, site walls and landscape into a well composed whole.

The intent of this section is to create homes that have greater visual texture and depth, strong shade and shadow lines, natural appearance and blend with the existing environment and community context.

Special attention should be given in the design of a Residence to the following areas:

- Topographic conditions
- Visibility from the community below
- View orientation
- Solar orientation
- Natural vegetation
- Natural drainage patterns
- Location of neighbors or potential neighbors

Design Character is subject to the interpretation and discretion of the Committee and is backed up by additional technical requirements elsewhere in these Guidelines. The Committee reserves all rights to remain flexible in its interpretation of Section 4.1.

4.2 BUILDING SIZES

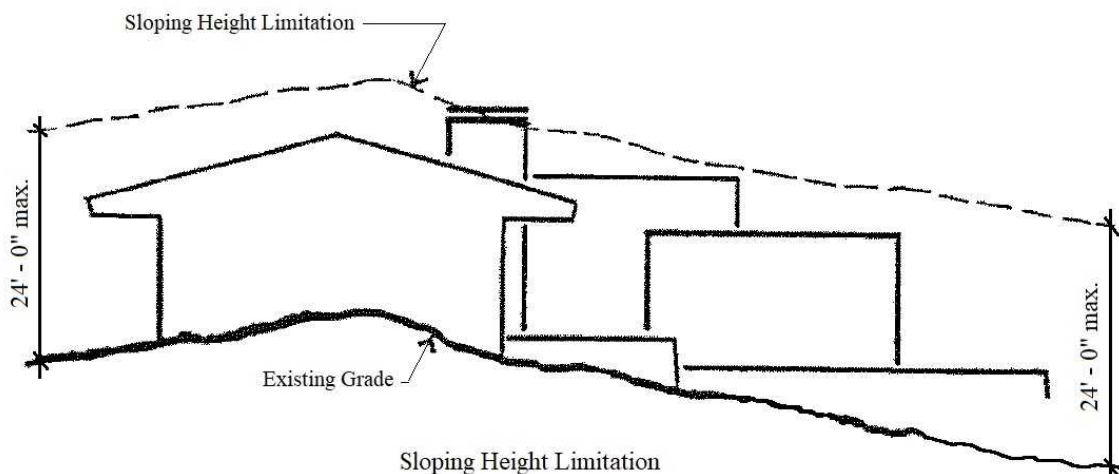
It is expected that Residences will contain at least two thousand five hundred (2,500) square feet of enclosed, conditioned living area, and a maximum of twelve thousand five hundred (12,500) square feet of total enclosed area, including garages; however, smaller or larger Residences may be approved by the Committee, if in its opinion, the design would not result in a Residence which would be out of character with the other Residences in Carefree Ranch.

4.3 BUILDING HEIGHTS

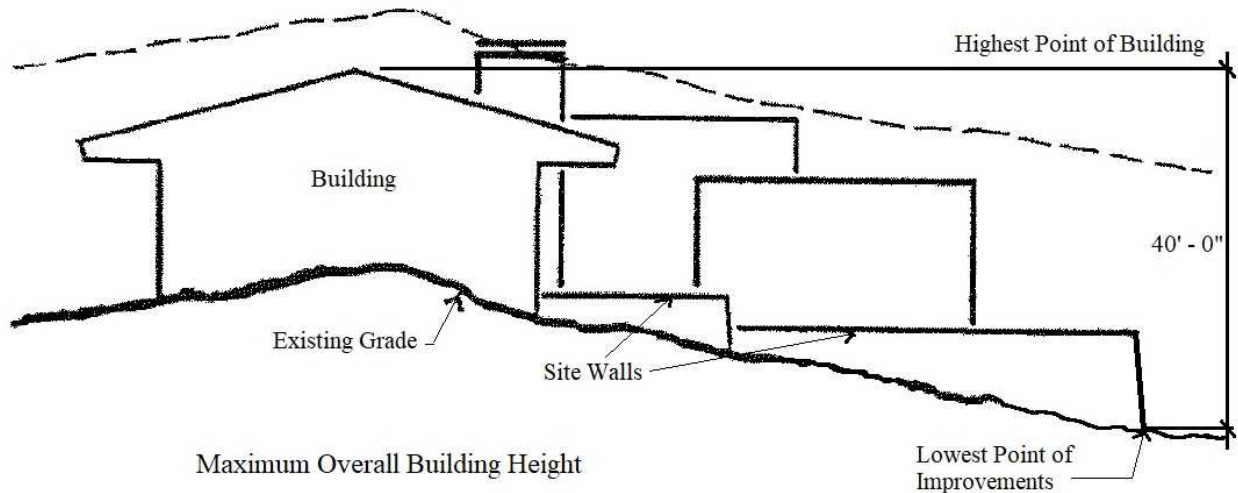
The terrain in Carefree Ranch is varied and unique, with steep slopes, ridges, knolls, valleys and other changes in elevation, making absolutely uniform applicability of height restrictions for Residences inadvisable. These Guidelines are intended to discourage and/or prevent any Residence or other structure which, in the opinion of the Committee, would appear excessive in height when viewed from a street, Common Area, or other Lot, and/or which would appear out of character with other Residences because of height. Consequently, despite the maximum heights generally permitted as hereinafter specified in this section, the Committee, even though a proposed Residence or other structure may comply with said maximum height restrictions, nevertheless may disapprove a proposed Residence or other structure if, in the opinion of the Committee, it would appear out of character with other Residences or undesirably prominent because of height. These considerations are particularly important with Residences constructed along tops of ridges or knolls where, without limiting this generality, the Committee could refuse to allow any portion of the Residence or other structure to exceed the standard maximum heights as hereinafter provided.

Because the desert vegetation is low, rarely ever exceeding twenty (20) feet in height, and because the CROA philosophy envisions Residences that tend to blend with, rather than dominate the environment, single story multi-level buildings that relate to the natural contours of the Lot are encouraged. Residences may be sited partially below grade. The height of all Residences and other Improvements is limited by a series of allowable dimensions, all as described below. A summary diagram is provided to illustrate the application of each dimension. The Committee may require adjustments be made to proposed Finished Floor Elevations as described in Section 3.7 of these Guidelines regardless of building height compliance.

- (a) **Sloping Height:** In addition to the other height requirements in this section, no portion of the Residence or other Improvements, except for chimneys, may exceed a height of 24' - 0" above the existing natural grade. This height is measured vertically at any point of the Residence or other Improvement to existing natural grade immediately below that point. Due to the unique and varied topography, the Committee may approve, on a case-by-case basis, and in its sole discretion, increases in the sloping height limitations.



- (b) Overall Building Height: The overall height of a Residence or other Improvement shall not exceed 40'-0" measured in a vertical plane from the highest parapet or roof ridge to the natural grade at the lowest point adjacent to the building exterior inclusive of site retaining walls, patio walls, and pool walls. In special circumstances involving conditions which do not conflict with applicable City ordinances, the Committee may approve, on a case-by-case basis and in its sole discretion, overall vertical dimensions which may exceed the 40'-0" limitation.

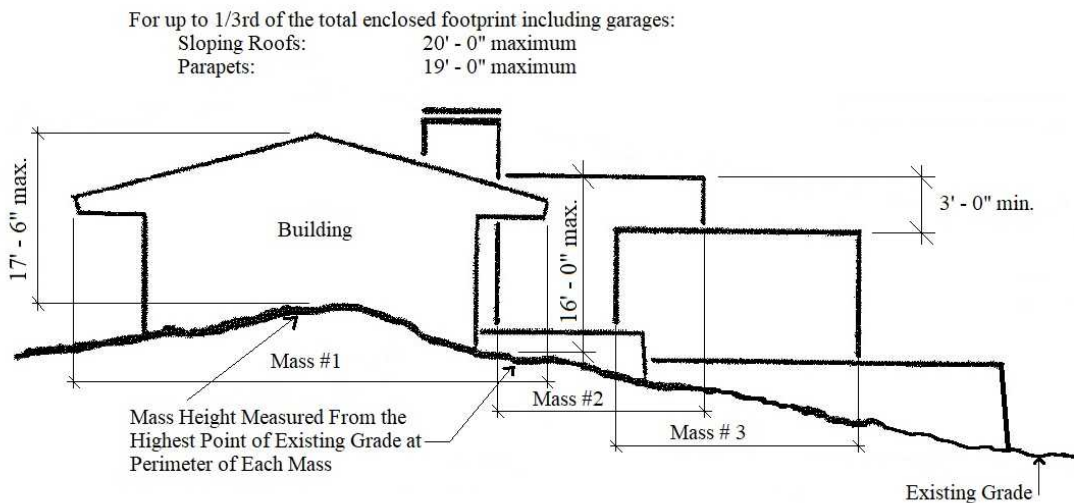


- (c) Massing: Scale and proportion in the desert can be deceiving. Small structures can at times appear large and dominating against the low vegetation and landforms. Therefore, proper massing will reduce the scale of a large structure and create building texture that will help to blend the Residence with its environment.

Unless otherwise specifically approved by the Committee, each Residence shall be composed of at least three (3) visual building masses of differing heights as viewed from any elevation. Homes larger than 5,000 square feet, excluding garages, shall be composed of at least four (4) visual masses of differing heights as viewed from any elevation. To be classified as a visual building mass, the mass shall have a minimum depth and width of 20'-0" and be a minimum of 500 square feet in area. Depth and width dimensions shall be measured perpendicular to each other. Very large or dominating individual building masses, in particular those created by sloping roofs, are discouraged.

Therefore, no individual building mass shall have an area large than 2,500 square feet, or a single dimension larger than 80'-0" unless, in the opinion of the Committee, a larger mass does not appear to be excessive in size.

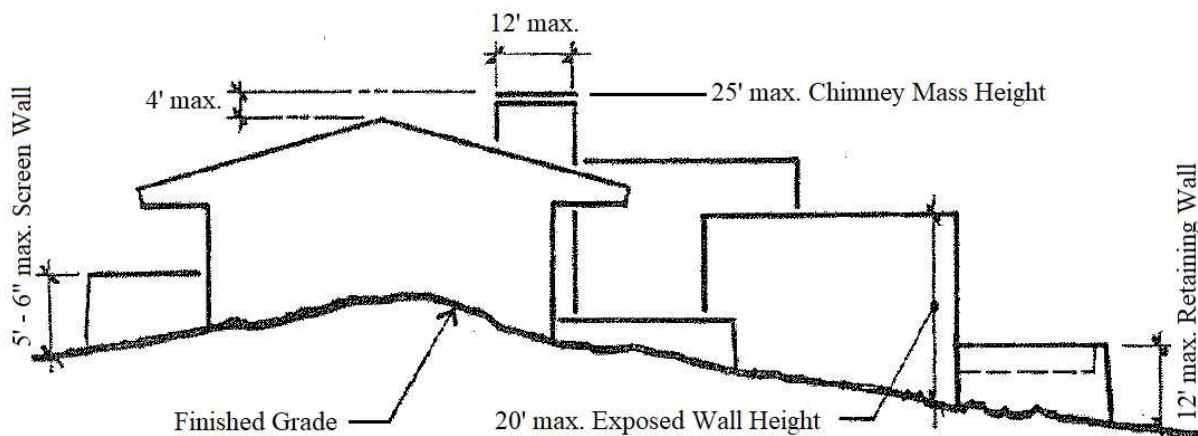
- (d) **Mass Heights:** The maximum height of any individual building mass of a Residence may not exceed 16'-0", measured to the tops of surrounding parapets on flat roofs, or 17'-6" measured to the top of the ridge on sloping roofs; except that a maximum of one-third of the area of the overall enclosed building footprint, including garages, may exceed these limits to a maximum of 19'0" measured to the top of surrounding parapets on flat roofs, or 20'-6" measured to the top of the ridge on sloping roofs. (See illustrations). Single slope or "shed" roofs shall conform to the height limitations for flat roofs. Height shall be measured vertically from the highest adjacent natural grade at the perimeter of each building mass.



Massing and Mass Heights

- (e) **Difference in Mass Heights:** Unless otherwise specifically approved by the Committee, the required three (3) or four (4) visual masses shall vary in height vertically by a minimum of 3'-0" from any adjacent mass or masses.
- (f) **Exposed Wall Heights:** In no case shall a wall have an unbroken height of more than 20'-0" measured vertically from the finished grade at its lowest point along to the wall to the top of the wall. Additional height may be achieved if an additional wall or sitewall is created and set back a minimum of 6'-0" from the high wall, subject to the limitations of the other governing criteria in these Guidelines and if approved by the Committee. Door and window penetrations and applied banding or textured relief in a wall plane do not change the measurements of an unbroken wall height.

- (g) **Articulation of Massing:** All height limitations are rudimentary criteria, which form the basis of the general massing only. For example, in addition to the overall massing which must step with the terrain, it is expected that all elevations will not only take advantage of the view from within the Residence, but will provide pleasant views from all surrounding areas. All side and rear elevations are expected to be articulated to break up the facade into smaller elements, as well as adding the richness of shade and shadow. Large blank walls will not be allowed. While the specific design is a matter for each individual Architect, failure to provide this articulation and richness may be grounds for rejection of the design by the Committee.
- (h) **Chimney Mass:** Chimneys may be constructed to a height not to exceed 25'-0", measured vertically from the highest natural grade adjacent to the chimney mass. Unless otherwise approved by the Committee, the height of a chimney mass may not exceed 4'-0" above the highest point within 10'-0" of that chimney mass. A chimney mass may not exceed an overall horizontal dimension of 12'-0" in any one direction, unless otherwise specifically approved by the Committee.



Additional Height Restrictions

- (i) **Retaining Wall Height:** In no case shall the height of a retaining wall exceed 12'-0" measured vertically from the lowest point at finished grade adjacent to the wall to the highest point of the wall along the exterior side of the enclosure. Retaining walls shall include any walls that retain or hold back earth more than 2'-0" in depth. The Committee, on a case-by-case basis, may consider overall retaining wall heights which exceed the 12'-0" limitation described above. Where justified by topographic conditions and where the extra height causes no adverse visual impact, an overall height of up to 16'-0" may be achieved by use of more than one (1) retaining wall, provided a minimum planting area of 10'0" is provided between the two (2) walls. Open railings up to an additional 3'-0" high may be allowed on top of a maximum 12'-0" tall retaining wall, subject to approval by the Committee. These railings, if allowed, must be integrally designed into the Residence.

- (j) Screen Wall Height: In no case shall the height of a screen wall or site wall exceed 5'-6" measured vertically from the lowest point at finished grade adjacent to the wall to the highest point of the wall along the exterior side of the enclosure, unless otherwise specifically approved by the Committee.

4.4 ROOFS

Since roofscapes will form an important part of the visual environment, they must be carefully designed. It is intended that neither flat roofs nor pitched roofs predominate. Pitched roofs shall be hipped or tie into building masses and may have a maximum slope of 4 to 12. Mansard roofs are prohibited; however, the Committee shall have the authority to approve partial gable or shed roofs when, in the opinion of the Committee, they do not add to a Residence's visual massiveness. Dominant roof colors such as white and red or reflective roof surfaces are prohibited. The finishes of metal roofs must be matte. Roof mounted mechanical equipment and antennas must be hidden from view. Vent piping should be clustered and hidden. Parapet walls should utilize core venting located on the upper interior surface. For "flat" roofs, the flashing detail between the roof and the parapet wall must be kept horizontal, not sloped to follow the roof or cricket slope. In the case of built-up roofs, all lap joints, seams or patches must be coated with an aggregate or ballast matching the roofing aggregate or ballast. Any joints, seams or tar patches shall be coated to match the adjacent roof surface and not be obvious. Parapets must return and end in an intersection with a building mass. Flat roofs should be surrounded by parapets a minimum of 10" above the adjacent roof surface, but in no case higher than 36" above the adjacent roof surface. Flat roofs that do not have parapets may be approved by the Committee if such roofs are free of any skylights, roof penetrations, roof vents, plumbing vents, etc. and, if in the opinion of the Committee, any drainage crickets are not distracting to the overall design character of the Residence. The materials listed in Appendix "E" are those sloped roof materials, which the Committee has approved for use.

The design of a Residence with a combination of flat and sloping roofs can create dramatic homes with appropriate massing and texture. The use of this combination takes skilled design understanding, and, if not properly designed, can lead to the appearance of two separate styles pressed together without integration or repose. The Committee may, at its sole discretion, reject any design in which it feels the sloped and flat roofs are not integrated into a harmonious whole.

The Committee strongly recommends that sloping roofs be designed as sheltering and shading elements with broad overhangs and strong shadow lines. Thin edges or thin fascias should be avoided on sloping roofs, as should sloping roofs with minimal or no overhangs. Sloped roof materials should be textural with very dark or deep color tones. Flat roof colors shall meet the requirements of these Guidelines regarding color and it is strongly recommended that the color of flat roof material and associated flashing match the color of the building. In any case, the color of the inside of the parapets should be the same across the entire vertical surface (i.e., paint the flashing and vertical roof material to match the parapet wall). Flat roofs utilizing foam roofing systems may require higher foam densities, or other special coatings, in order to achieve the color requirements.

4.5 COLORS

All exterior building and Improvement colors shall comply with Scottsdale LRV Values. LRV information is available from most paint manufacturers. A sample color palette has been recommended for Residences and is listed in Appendix "F". The colors were chosen to blend with the natural colors of the vegetation and mountains as seen from a distance. Colors leaning toward the yellow, orange or blue hues are discouraged. Subdued accent colors may be used, subject to approval by the Committee. Flat roofs must be surfaced with a material whose color harmonizes with the natural desert but does not contrast with the building walls or may be painted to match the building walls. Builders of flat roofs utilizing foam roofing systems may want to consider higher foam densities, or other special coatings, in order to achieve color requirements. Colors for exterior artwork, sculpture or any other special features should also be muted tones chosen to blend rather than contrast with the Residence and its surroundings. The paint colors listed in Appendix "F" are those colors, which the Committee has approved. Other colors that meet the criteria of this section may be approved by the Committee on a case-by-case basis. Homes repainted must either be painted the previous color or a new color, which meets with city and CROA approval.

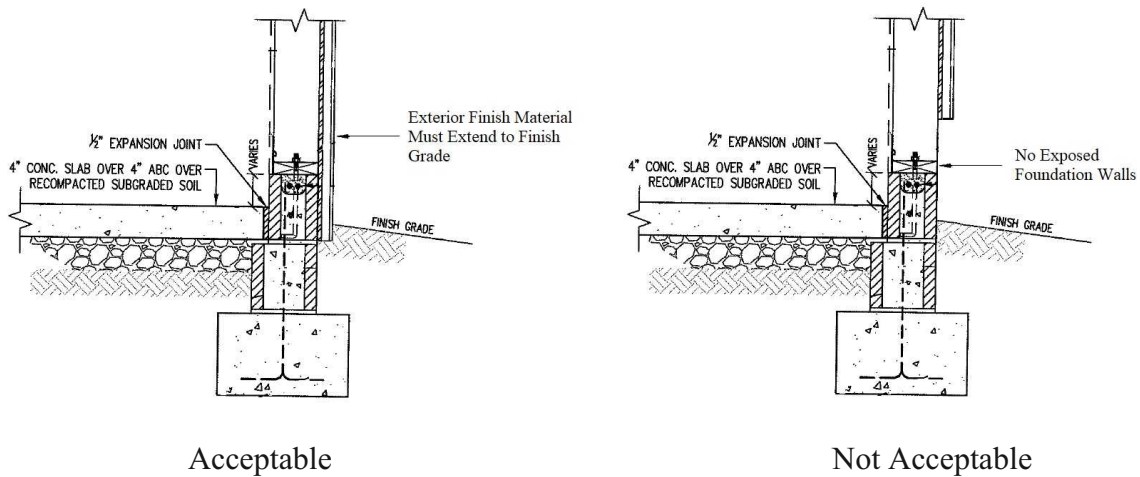
4.6 REFLECTIVE FINISHES

No highly reflective finishes, except glass, which may not be mirrored or opaque, and door hardware, shall be used on any exterior surfaces including exterior artwork and sculpture.

4.7 MATERIALS - EXTERIOR SURFACES

Exterior surfaces must generally be of materials that harmonize with the natural landscape. Stucco, stone masonry, painted slump block, adobe block, or integrally colored split face concrete block, should be the predominant exterior surfaces. They provide an outer surface to withstand the climate extremes and their use is encouraged as the combination of materials provides a textural context that breaks down visual massing in much other same manner that the variety of the desert itself breaks up the large expanses. Large amounts of wood will not weather well in desert conditions and are strongly discouraged. In addition, red brick is not considered harmonious with the desert and will not be approved.

Exterior finish materials including stucco on all building walls, site walls, and screen walls must be continued down to below the finish grade, thereby eliminating unfinished foundation walls.



4.8 BUILDING PROJECTIONS

All projections from a building including, but not limited to, chimney caps, vents, gutters, scuppers, downspouts, utility boxes, porches, railings, and exterior stairways shall match the color of the surface from which they project or be an appropriate accent color, unless otherwise approved by the Committee. All building projections must be contained within the Building Envelope.

4.9 ANTENNAE/ SATELLITE DISHES

There shall be no antennae or satellite dishes of any sort installed or maintained which are visible from Neighboring Property, except as expressly permitted by the Committee. Antennae approved by the Committee must be painted to match the home and or blend in with its surroundings. Ground mounted satellite dishes are very successful and eliminate roof traffic.

4.10 SKYLIGHTS

Skylights can add natural light to interior spaces of a home, but they can also cause problematic light discharge and reflection from roofs. Therefore, all skylights installed must be hidden from view from all other lots as well as from the village roads. Skylights must be surrounded by parapets and the parapets must be at least 18" above the highest point of any skylight or as necessary to comply. It is recommended that the skylights be placed in such a manner as to maximize the screening effect of the parapets from views from Adjacent Lots, particularly those located above as well as streets and Common Areas. Skylights must be either tinted bronze or gray. White or clear skylights will not be allowed. Skylight should not cause any objectionable glare or reflections. Skylights are not allowed on pitched roofs or flat roofs that are not surrounded by a parapet. Up lighting in skylights is not allowed.

A note must be placed by the Architect on the roof plan or other applicable plan in the final construction drawings indicating that skylights must be hidden from outside view.

4.11 WINDOWS

In authentic desert architecture, windows have always been deeply recessed and/or shaded to protect the openings from the strong sun and heat. In addition to protection from the sun, the deep window recesses give the appearance of strength to the architecture and dimension to the wall thickness. Therefore, all Residences shall have recessed windows and glazing. Windows that are flush with the surrounding wall plane will not be allowed. Windows should also be located and sized so as to limit heat gain to the Residence's interior and not cause any objectionable glare at any time, day or night. The use of overhangs, deep window opening recesses and other shading devices is encouraged.

In any case, the plane of the glass must be recessed a minimum of four (4) inches from the exterior wall face, unless the glass is sheltered by an overhang and sidewalls of at least 2'-0" in depth. Typically, the larger the plane of glass, the greater the recess should be from the exterior wall face. "Pop outs" around windows will not be allowed unless, in the opinion of the Committee, the window surround is treated as a mass element.

Glass block has the same constraints as listed above for windows. Glass block is not allowed in decorative patterns or shapes. Colored or bronze reflective glass block is not allowed.

The use or addition of fabric-type awnings, exterior sunshades or other shading devices that do not appear integrated into the design of a Residence are strongly discouraged and can only be allowed if, in the opinion of the Committee, the element is integrally designed into the character of the Residence and other Improvements and it does not have a negative impact on the overall visual harmony of Carefree Ranch. Sun control and shading demands should be analyzed with the initial concepts and designed as an integrated part of the Residence through the use of correct solar orientation, broad roof overhangs, shading masses and deeply recessed windows. In general, the attachment of shading devices to the Residence is not considered an integrated solution.

4.12 INTERIOR LIGHTING

Windows can also create a contrast problem at night if interior lighting is not properly designed or installed. If clerestory windows are combined with soffit lighting, the lamp must be screened from view from outside, including above, and directed away from the window. The lamps of interior soffit lighting must not be visible from Neighboring Property. Soffit and interior lighting that creates "hot spots" when the light reflects off of walls or ceilings should be avoided. Interior lighting may not be directed up into any skylights.

4.13 PATIOS AND COURTYARDS

Patio and courtyards should be designed as an integral part of the Residence so they can be shaded and protected from the sun by roofs and building masses. These open areas can take advantage of natural airflows to produce cooler temperatures. By orienting these outdoor spaces inward, disturbance of the desert will be minimized. Outdoor fire pits and outdoor fireplaces must be gas burning only due to concerns about fire danger. Wood burning outdoor fire pits or outdoor fireplaces will not be allowed.

4.14 PATIO AND COURTYARD FURNITURE

In order to maintain visual integrity, all patio and courtyard furniture, including umbrellas, must meet the intent of Section 4.5 "Colors." White or brightly colored patio and courtyard furniture and accessories will not be allowed. These standards shall also apply to patio or exterior furniture on rooftop decks. Umbrellas will not be allowed on roof decks.

4.15 SOLAR APPLICATIONS

Passive solar applications or the orientation and design of the Residence for maximum winter sun gain will reduce the winter heating needs, and will be encouraged. Active solar collectors can cause excessive glare and reflection, and can only be approved if they are integrated into the structures or landscaping on a Lot. As with all design elements of a Residence or other Improvements, solar collectors must be integrally designed, aesthetically pleasing and meet all other applicable restrictions set forth in these Guidelines. Solar collector must not be Visible from Neighboring Property or cause excessive glare.

4.16 SCREEN WALLS / SITE WALLS

Screen walls should be a visual extension of the architectural design of the Residence. They may be used to separate the Private Areas from the rest of the Building Envelope and as screening for parking and service areas. They may not be used to delineate property lines or to arbitrarily delineate the Building Envelope. The colors of walls must conform to the color standards described in these Guidelines.

4.17 SERVICE YARD

All above-ground garbage and trash containers, clotheslines, mechanical equipment, pool equipment and other outdoor maintenance and service facilities must be completely screened by walls and gates, at least one (1) foot higher than the equipment, from Adjacent Lots, Common Areas, or streets. Gates or a "maze" entry that provides complete screening shall be required around all mechanical and pool equipment enclosures.

4.18 GUEST HOUSES, GUEST SUITES AND ACCESSORY BUILDINGS

Such structures must be designed as a single visual element with the Residence and should be visually related to it by walls, courtyards, or major landscape elements. A free standing Guest House must comply with applicable City zoning regulations. A free standing Guest House or accessory building can be constructed on any Lot, with approval from the Committee, provided all Improvements fall within the Building Envelope and Residence. No Guest House or Guest Suite may be leased or rented, separate and apart from the lease or rental of the main Residence.

4.19 NO VISIBLE STORAGE TANKS

All fuel tanks, water tanks, or similar storage facilities shall be shielded from view from Adjacent Lots, streets or Common Areas by walls or structures or shall be located underground with all visible projections screened from view from Adjacent Lots, streets and Common Areas.

4.20 NO SIGNS

All security, pool, construction, financing, for sale and other similar signs utilized for advertising or otherwise are prohibited within Carefree Ranch. The only exceptions are the Address Identification devices described in Section 3.27 of these Guidelines, the temporary construction sign described in Section 5.5e of these Guidelines, and the standardized open house signs approved by the Association.

4.21 FREE STANDING FLAGPOLES

Freestanding flagpoles of 18 feet or less are allowed subject to Committee approval. Displaying the American flag is permitted if it is hung from a pole bracket mounted on the Residence or if it is suspended from a roof overhang.

4.22 RADON GAS PROTECTION

Although there has been no indication that significant amounts of radon gas are present in the soil of Carefree Ranch, the Committee recommends that each individual Lot be tested by a competent professional for the presence of radon gas. If a determination is made that a radon gas protection system is needed, the design professional should be made aware of this and include it in the design of the Residence.

4.23 COLUMNS

In keeping with the intent of visual strength in the architectural design, column proportions are critical. Thin columns tend to visually appear weak. Columns must have a minimum dimension of 12" in diameter or width in both directions, and have a minimum slenderness ratio of 1 to 8. (i.e., an 8' - 0" tall column must be 12" wide and a 12' - 0" tall column must be 18" wide). The Committee may grant exceptions to this guideline if determined by the Committee to be appropriate to the specific design.

4.24 GARAGES

Every effort should be made to minimize the impact of the garage and garage door(s). Careful siting and driveway orientation can ensure that a garage is recessed from view from the street and Adjacent Lots. In an effort to minimize garage impact, no more than three (3) garage stalls (i.e., three (3) single doors or one (1) single and one (1) double door) will be allowed adjacent to each other in a continuous plane. Two (2) double garage doors may be placed adjacent to each other if they are offset by a minimum of six (6) feet horizontally and they do not face the street. If additional garage space is needed it must be separated from the other garage location in an effort to avoid a long uninterrupted row of garage bays. The appearance of the garage door must blend with the home design. Ornate garage doors are strongly discouraged. Doors are to be recessed 18" from the face of garage wall.

4.25 UNIQUE EXTERIOR FEATURES

Unique exterior features including, but not limited to, entry arches, decorative gates, glass patterns, railings, stairs, enclosures, shade structures, armadas, fountains, gazebos, cabanas, exterior fireplaces, and the like must be designed as an integral part of the Residence. Requests for approval of unique exterior features should include detailed design information including sketches, cut sheets, photographs, etc., as a part of the Preliminary Submittal and the Final Submittal for approval by the Committee.

Specific restrictions include:

- (a) Exterior stairs and, specifically, circular stairs must be screened so that is not visible from neighboring property with a solid wall; open railings and exposed treads and risers on exterior stairs will not be allowed. Exterior ornamental stairs are not allowed.
- (b) Outdoor fireplaces, fire pits or similar items shall be gas fueled only due to concern of fire danger.
- (c) Fountains or water displays shall be limited in height to no higher than five (5) feet above the grade at which they are located and must be screened so that they are not visible from neighboring property.
- (d) Exterior artwork and sculpture shall be limited in height to no higher than ten feet (10'-0") above adjacent finished grade or floor level, including any stands, pedestals or bases. Exterior artwork and sculpture will only be allowed within the Private Area of the Lot (as defined in Section 3.4) and must conform to the color standards of these Guidelines. The Committee reserves the right to not approve any exterior artwork or sculpture that it deems inappropriate for reasons of subject matter, height, color, size, reflectivity or proposed location. Exterior artwork may not be illuminated by light fixtures aimed at the artwork or specifically intended to illuminate the artwork.
- (e) Dog runs, pet enclosures and similar structures shall be designed as integral elements to the Residence. Fencing or wire-type mesh must be framed or encased in architectural elements that tie with the architectural character of the Residence as deemed appropriate in the sole discretion of the Committee.
- (f) Open or transparent railings shall not be allowed on roof decks, unless otherwise approved by the Committee. The railings around roof decks, if any, must be integrally designed into the overall composition of the Residence and not give the appearance of a roof deck on "top" of the house. This requirement will typically result in a roof deck railing having the appearance of a parapet.

Section 5

Construction Regulations

5. CONSTRUCTION REGULATIONS

The Association Board has adopted the following policies and requirements relating to the actual construction process in addition to the Design Guidelines. These guidelines are intended to assist the Owner and contractor in following requirements that the Association considers necessary for efficient, safe and secure execution of the construction phase. Remember, to those who already live in Carefree Ranch, your construction site is something that residents will have to live with daily for a year or more until completion. With steady building activity, the following practices will minimize the effect of the construction phase on both your new neighbors and the environment.

5.1 PRECONSTRUCTION CONFERENCE

This conference should include a member of the CROA Board, the lot Owner and the general contractor. The conference is intended to establish the rules, answer any questions and assist all parties in executing their tasks easier, more efficiently and with less impact on residents. At this time the builder/owner should provide to the Association a timetable identifying start dates and estimation of completion. Before construction may begin, the home plan must have passed the CROA Design review (\$1,500 non-refundable), the builder/owner must have posted the \$2,000 Builders Bond and the builder/owner must have received the start of construction approval letter from CROA. A copy of this letter should be posted on the back of the builder or lot Owners sign.

5.2 BUILDERS BOND

This cash bond will be posted by the builder/owner to insure that he and any subcontractors conform to these guidelines. The amount of the cash bond is \$2,000. Any violations or damage to the association property could result in charges levied against this bond. The cash bond will be returned to the builder/owner upon completion (minus any violation charges).

5.3 CONSTRUCTION SITE INSPECTION

The frequency of the inspection by CROA Board members may be at least once a month, depending on the volume of activity. The purpose of the inspection is to review for violations of these guidelines, to check for construction per approved plans and for CC&R deviations.

5.4 CONSTRUCTION ENTRANCE

The designated construction entrance for Carefree Ranch is the Pima Stone Gatehouse. No cross over to or from Desert Mountain or any other subdivision is allowed.

5.5 SAFETY, SANITATION AND NOISE

Fire hazards are always a concern, regardless of the season. Every building site **MUST have at least one working fire extinguisher on site (in a prominent place in the structure) at all times.** The recommended minimum extinguisher is a ten-pound ABC type. If the inspection reveals that there is no extinguisher on site, the Association retains the right to shut down the project until one is made available.

- (a) BURNING: Burning of any trash is absolutely forbidden. No open fire is permitted for trash, scrap, warm-ups or cooking.
- (b) FENCING: Fencing the building envelope is recommended but not required. Fencing aids in protecting the natural vegetation, restraining trash and debris and provides additional property security. The fencing should envelope the building site, trash container and any trailer, if at all possible.
- (c) TRASH: Trash on each building site should be in a container with a lid. Trash should be deposited in the container on a daily basis to insure that no debris blows across other property. This area periodically experiences high winds and any debris blown from a construction site are to be picked up immediately. Failure to do so may require the Association to have the trash policed and the cost deducted from the \$2,000 bond. The builder/owner should inspect the site and neighboring sites on a regular basis to insure litter is kept to a minimum.
- (d) NOISE: Noise from car and portable radios must be kept to a level as to not be annoying to nearby residents. No dogs allowed on site with crews.
- (e) TEMPORARY CONSTRUCTION SIGNAGE
 - 1) Signs, if any, shall be single-faced, panel type, with a maximum area of six (6) square feet. No additional signs may be attached to the main sign or be suspended below it although separate sign panels that link together to form a single visual sign that meets all the requirements of this section will be acceptable. No lighting of construction signage is allowed.
 - 2) Only the following information may appear on a construction sign:
 Builder's name and phone number
 Architect's name and phone number
 Owner's name or the name of the house (i.e., "Desert Wind")
 The two (2) phone numbers noted above are the maximum phone numbers allowed on the sign.
 - 3) Information such as "For Sale," "Available" or similar language, or descriptive phrases such as "3-bedroom" may not appear on any construction sign.
 - 4) Colors of sign background should be muted ear tones, which harmonize with the desert colors rather than sharply contrast with them. Letter colors should relate harmoniously with the background colors while providing sufficient contrast to enable the sign to be read from approximately twenty feet (20'-0") away.
 - 5) Temporary construction signs must be removed at the time the house is substantially complete, occupied, or when the Committee directs the sign to be removed.

5.6 PARKING AND TRAFFIC CONTROL

All job site street parking will be confined to only one side of the street for safety concerns. Neighboring lots should not be used for storing materials, equipment or parking. Parking should be in a manner that does not disturb the native vegetation, adjoining lots or restrict traffic on the community roads. It is the responsibility of the builder to police the parking of the subcontractors who choose to park on the street. General contractors shall make subcontractors and their crews aware of speed limits, parking procedures and general courtesy to others on Carefree Ranch.

5.7 CONSTRUCTION TRAILERS

Any builder desiring to install a trailer on site will have to first gain approval for CROA. Signage on the trailer is limited to the company name and the color of the trailer shall meet CROA approval. Any trailer shall be removed as soon as construction is completed.

5.8 PORTABLE TOILET FACILITIES

Portable toilet facilities must be provided on site either in the building envelope or in an area approved by the Association Board.

5.9 LIST OF CONTRACTORS

The builder/owner must provide the Association and the guard gate with an accurate list of contractors, subcontractors, architects, surveyors and others who may be involved in working on the Ranch. This list should include the name of the company, the address and phone for the company as well as the individual's name. There should also be a contact number for the Owner, principal contractor and supervisor, if any, as well as any architect. Without this information, anyone can pass through the gate for whatever reason, which means we are not enforcing security. As a result, without this information, the Association reserves the right to refuse entry to Carefree Ranch. Should a change, substitution or addition be made to the access list, a copy of the new list will be provided to the Association and the guard gate. (This includes changes in general contractors or subs specified in previous lists). Also, a copy of the construction timetable should accompany the access list to the guard gate in an effort to help the guards ensure who is allowed on the property.

5.10 CHANGE ORDERS

The Architectural Review Architect will be provided with a copy of any change orders materially affecting exterior shape or appearance to insure that there are not changes of substance that might be contrary to association guidelines and/or negate a prior design approval.

5.11 WORKING DAYS AND HOURS

Construction working hours should, within reason, be one half hour before sunrise until one half hour after sunset. Obviously summer and winter seasons influence the work schedule but the contractors should be informed of the hours. The Pima Stone Gate opens at 0500 in summer and 0600 in winter. Normal workdays are Monday through Saturday. If it is necessary to work on Sunday, permission must be granted by the CROA.

5.12 DIRT WORK

Contractors must avoid bulldozing dirt over the side and down slopes, which would destroy the desert and leave a scare. No dumping of excess materials within the development is allowed. Any excess must be hauled away. Dust control must be maintained within limits as established by the City of Scottsdale. Mud and dirt tracking onto village roads should be swept off periodically - especially after rain. Periodic high-pressure washing may be required. It is required that the access road to the site be well graveled or paved as soon as possible after site prep to minimize dirt tracking by worker vehicles onto roads.

5.13 CONCRETE DELIVERIES

The community has many steep hills and concrete spills have been a recurring problem. As a result, the following policy has been adopted. It is the responsibility of the general contractor to make this policy known to the concrete company.

- a) Spills are to be avoided. (Tom Morris Road is in excess of 20% grade in spots). Delivery trucks should not be filled to full capacity for deliveries to lots which require access by Tom Morris Rd., Alister McKenzie Dr., Jack Neville Dr., Red Lawrence Dr., Larry Hughes Dr. or Stanley Thompson or any lot within Carefree Ranch. (Consideration should be given to backing up these hills when over half full).
- b) Gate guards will note the time and company making the delivery as well as the lot for which the load is headed.
- c) General contractors are solely responsible for policing your concrete deliveries. After a delivery is made, we recommend you check to see that none of the roads were soiled by concrete spillage.
- d) **ANY SPILLAGE IS TO BE REMOVED IMMEDIATELY.** Spills are to be mechanically (shovel) removed from the road and adjacent areas, washed clean and if necessary, brushed after drying to remove aggregate from the road surface. No trace of the spill is to remain. Staining will require an amount to be deducted from the construction bond, commensurate with the size of the spill, not to exceed \$1,000 to go towards fog coating the affected area.
- e) Failure to comply with this requirement will result in the Association Board shutting down the construction project.

NO CLEANOUT OF CONCRETE TRUCKS IS ALLOWED WITHIN THE ASSOCIATION

The minimum necessary cleaning of chutes and exterior truck components is allowed within the immediate building envelope. No residue is to be left on roads.

5.14 ROAD CUTS

The largest portion of our annual budget goes toward the road maintenance and upkeep. Nothing spoils a newly paved road more than a poor repair after utility improvements. With that in mind, CROA has adopted new rules for any utility improvements or repairs which transverse under or across any of our roadways. **Any road cuts made by Builder/Owner must have prior CROA approval.** The approved repair must include all of the following as a minimum:

- a) All road surfaces are to be saw cut exposing only the minimum necessary earth for repair / installation.
- b) All shading or surrounding backfill to be water settled. Shading depth not to exceed 6" above or below utility, or to code. Shading shall consist of screened sand Yi minus or Yi minus granite. NO NATURAL BACKFILL MATERIAL (removed dirt) EXCEPT MINIMUM NECESSARY SHADING as per above.
- c) Backfill on top of shading to be 100% slurry - 1 sack mix (1 sack Portland to each cubic yard of backfill material). Slurry to extend minimum of 12" outside original road surface edge. Alternatively, fill may be 100% concrete. Slurry shall be smooth screeded to base of preexisting road surface.
- d) Macadam patch must be smooth with and level with existing road surface. No voids.
- e) Seal coat to be applied to all patch surfaces and extend over seam of old and new surfaces.

5.15 Catering Truck

Catering vehicles will not be allowed to use their horns, as their schedules are routine enough for workers to be aware of break times. Trash generated by food sales should be disposed of properly. Failure to police trash will result in denial of access to the vendor.

5.16 Damage:

Damage to roads, desert or private or Ranch property is to be avoided. Any damage not repaired by the builder/owner will be undertaken by the Association and deducted from the cash bond. This includes concrete spills. Any damage in excess of the builder's bond will be applied in the form of a lien on the property in accordance with Carefree Ranch Owners Association's CC&Rs.

Much road damage can be avoided. Avoiding hard turns with heavy equipment and placing plywood under backhoe outriggers or trailer tailgates will often eliminate scuffs and dents. Upon completion, the property will undergo a final exterior inspection by CROA to ensure all requirements are met. Any scuffs, dents and cuts to the road surface will have to be saw cut, patched and sealed prior to release of the builder's bond.

5.17 Late Completion Penalty:

The Association has had the experience of a house not being completed. This prompted the Board to adopt the following policy, which is made a part of each approval letter and is accepted by the Owner before construction.

This design approval is given subject to the following commitments from Owner:

- (1) To complete the proposed building project if it is started; or
- (2) If the project is stopped or terminated prior to completion, to reclaim and restore the contour of the vegetation on the property to a condition that is comparable to that which existed before the project was begun; and
- (3) To pay to Carefree Ranch Owners Association a fee of \$50 per day for noncompliance with commitments (1) or (2), such fee to commence on the 549th day after the official start date assigned to the project or on the day after the initial building permit for the projected expires, whichever first occurs. (The official start date will be assigned by the CROA Board member at the Pre-Construction conference). For the purposes of this provision a building project shall be deemed to have started if ground is broken, whether for testing in preparation for building or to begin clearing the building site. A building project shall be deemed completed when a Certificate of Occupancy is granted. The fee provided for herein shall constitute an assessment and lien on the foreclosed as provided in Section 2.20 or the CC&Rs for the Subdivision in which the property lies.

5.18 Distributing These Guidelines

The Owner or general contractor is responsible for giving copies of these Construction Guidelines to all subcontractors and professionals who work on the project or informing them as to its contents. Extra copies are available from the Carefree Ranch Home Owners Association, c/o Preferred Communities, PO Box 5720, Mesa, AZ 85211-5720 or at Preferred Communities, 1134 E. University Drive, Suite 114, Mesa, AZ 85203-8048, or by calling Preferred Communities at 480-649-2017, or by emailing Mr. Robert Herrera at Robert@gothoa.com.

5.19 Violations: The Association reserves the right to ***prohibit entrance to the Ranch by any violators of these guidelines.***

Carefree Ranch Design Review Submittal Checklist

This “Before Beginning Construction” checklist must be completed and submitted with all applicable fees prior to the commencement of project review and construction. Fees are made payable to the Carefree Ranch Owners Association, and must be submitted to Preferred Communities, PO Box 5720, Mesa, AZ 85211-5720. Please see Appendix “B” – CROA Design/Review Fees Schedule for applicable fees. Other documents as listed below must also be submitted to CROA before the commencement of construction.

- ☐ Design Review Fee
- ☐ Builders Bond (refundable)
- ☐ Copy of Building permit from City of Scottsdale
- ☐ Construction approval letter from CROA Design Review Board
- ☐ Access list of contractor/subs (for guard gate)
- ☐ Copy of this Construction Guideline (6 pages) signed by builder/owners (delivered at pre-construction conference)
- ☐ Pre-construction conference with CROA Design Committee (on site or as arranged after all above completed)

Owner (or designee) _____

General Contractor _____

CROA Board Member _____

Date _____

Official start date of project _____

The Owner, Builder and Designer by signing above herein acknowledge and agree to all design guidelines and construction regulations, as defined by the CROA Design Guidelines including any and all other restrictions and/or conditions required by the CROA Board of Directors and Design Committee.

Appendix

Appendix "A"

DEFINITIONS

Unless the context otherwise specifies or requires, the following words or phrases when used in these Guidelines, shall have the following specific meanings. Terms used herein, which are defined in the Declaration shall have the meanings specified therein.

- 6.1 "Adjacent Lot" means any Lot that shares a common boundary weith the subject Lot, as well as any Lot that is located directly across a street or across a Common Area open space less than fifty feet (50') wide.
- 6.2 "Applicant" means the specific individual person identified on an application form submitted to the Design Committee as the applicant to whom all design review correspondence shall be addressed.
- 6.3 "Architect" means a person appropriately licensed to practice architecture or landscape architecture in the state of Arizona.
- 6.4 "Association" means The Carefree Ranch Owners Association as defined in the Declaration.
- 6.5 "Association Director" means the individual appointed by the Board to manage the administrative functions and duties of the Association.
- 6.6 "Board" means the Board of Directors of Carefree Ranch Owners Association.
- 6.7 "Builder" means a person or entity engaged by an Owner, including the Owner acting as Builder, for the purposes of constructing any Improvement on the Owner's Lot.
- 6.8 "Building Envelope" means that portion of a Lot, as described in Section 3.1 of these Guidelines, and identified on the approved Building Envelope Exhibit, including any modifications as made from time to time pursuant to the Guidelines, which encompasses the maximum allowed developable area of the Lot.
- 6.9 "Building Envelope Exhibit" means the document, approved by the City, showing the Building Envelope and Natural Area Open Space (NAOS) requirements for Carefree Ranch, including any amendments and changes as may be allowed by the Design Committee from time to time. This document is available from the Design Committee upon request.
- 6.10 "City" means the City of Scottsdale, Arizona, a municipal corporation of the State of Arizona.

- 6.11 "Committee" means the Design Committee established by the CROA Board.
- 6.12 "Common Area" means Common Area as defined in the Declaration.
- 6.13 "Cut" means removal of soil, rock or other earth materials to create a finished grade that is lower than the existing natural grade.
- 6.14 "Declaration" means the recorded Declaration of Covenants, Conditions, Restrictions and Easements for Carefree Ranch, as amended from time to time.
- 6.15 "Design Review Committee" means the CROA Design Review Committee.
- 6.16 "Design Review Coordinator" means the individual appointed by the Committee to serve as the coordinator and liaison for the Committee.
- 6.17 "Developer" means the Developer as defined in the declaration.
- 6.18 "Excavation" means any disturbance of the surface of the land (except to the extent reasonably necessary for planting of approved vegetation), including any trenching which results in the removal of soil, rock, other earth materials or other substance from a depth of more than twelve inches (12") below the existing surface of the land, or any grading of the surface.
- 6.19 "Fill" means any addition of soil, rock or other earth materials to the surface of the land, which increases the elevation of such surface from its existing state.
- 6.20 "Final Submittal" means all drawings and information required by Section 2.4 of these guidelines to be submitted to the Committee for final approval.
- 6.21 "Finished Floor Elevation" means the floor elevation of any portion of a Residence as measured from topographic elevations based on the Carefree Ranch datum.
- 6.22 "Guest House" means a structure, separate from the main structure of the Residence, having sleeping facilities for one or more guests.
- 6.23 "Guest Suite" means sleeping facilities incorporated into the main structure of the Residence for the use of one or more guests.
- 6.24 "Guidelines" means The Carefree Ranch Design Guidelines.

- 6.25 "Improvement" means any changes, alterations, or additions to a Lot, including any Excavation, Cut, Fill, Residence, buildings, outbuildings, roads, driveways, parking areas, walls, retaining walls, stairs, patios, courtyards, landscape, poles, signs, exterior art and any structure or other modification of any type or kind.
- 6.26 "Lot" means a subdivided Lot as shown on the plat of record for Carefree Ranch Owners Association.
- 6.27 "Major Modification to a Building Envelope" means changes greater than fifteen (15) feet in any outward direction to the Building Envelope as shown on the approved Building Envelope Exhibit, or any modifications to a driveway location deemed major by the Committee.
- 6.28 Deleted
- 6.29 Deleted
- 6.30 Deleted
- 6.31 "Design Guidelines" means the restrictions and procedures relating to the entire Carefree Ranch project.
- 6.32 "Minor Modification to a Building Envelope" means modification of less than fifteen (15) feet in any outward direction to the Building Envelope shown on the approved Building Envelope Exhibit.
- 6.33 "Natural Area" means that portion of the Lot as described in Section 3.2 of these Guidelines, which must remain undisturbed, lying within a Lot, but outside of the Building Envelope.
- 6.34 "Natural Area Easement" means the easement required by the City to preserve the Natural Area Open Space (NAOS) of a Lot.
- 6.35 "Owner" means the Owner (as defined in the Declaration) of a Lot. For the purposes herein, the Owner may act through his designated agent, provided that such agent is authorized in writing or by law to act in such capacity.
- 6.36 "Preliminary Submittal" means all drawings, models and information required by Section 2.2 of these Guidelines to be submitted to the Design Committee to obtain preliminary design approval.

- 6.37 "Residence" means any building or buildings, including any garage or other accessory building used for residential purposes, constructed on a Lot, and any Improvements constructed in connection therewith. Unless otherwise defined, "Residence" shall mean a single-family Residence.
- 6.38 "Structure" means anything constructed or erected on a Lot, the use of which requires location on the ground or attachment to something having location on the ground.
- 6.39 Deleted
- 6.40 "Visible from Neighboring Property" means that an object or activity on a Lot which is or would be visible without the use of artificial site enhancements in any line of sight originating from any point six feet above any other property, including other Lots.

Appendix "B"
CROA Design Review Fee Schedule - As of 7/21/2015

Carefree Ranch Owners Association Design Review Fee Schedule

New Construction:

Full Review with follow-up:	\$4,000.00
Construction Access Fee:	\$6,000.00
Builder's Deposit (refundable):	\$5,000.00

Small Addition/Renovation	
Basic Review with follow-up:	\$750.00 to \$3000.00
Construction Access Fee:	\$3,000.00
Builder's Deposit (refundable):	\$2,000.00 to \$4,000.00

Note: The CROA Board of Directors reserves the right, and at their sole discretion, to change/amend the fee schedule as required. The CROA Design Committee may also, on a case by case basis, recommend fees which apply to smaller or unique project request as applicable.

Appendix "C"

APPROVED PLANT LIST

The Committee has found the plants included in the following list to be inherently compatible with the natural desert existing at Carefree Ranch and encourages their use. Any species not contained herein may not be planted or installed within Carefree Ranch without written approval from the Committee. All species of cacti, trees or shrubs not listed below, which have been found to be indigenous to the Carefree area, are acceptable for use within Carefree Ranch, but their specific uses must be approved by the Committee. Non-indigenous plant materials, which normally reach a mature height greater than twenty feet (20'), may not be used.

Indigenous species are preceded by an asterisk (*). Only indigenous plants may be used in the Natural Areas and the Transitional Areas outside the site walls. The density and mix of any added indigenous plant material should approximate those found in the general area.

TREES

Acacia Abyssinia	Abyssinian Acacia
Acacia cavenia	
Acacia ebumia	Needle Acacia
Acacia famesianna (smallii)	Sweet Acacia
Acacia occidentalis	
Acacia schaffneri	
Acacia species	
Caesalpinia platyloba	Bird of Paradise
*Canotia holacantha	Crucifixion Thorn
*Celtispallida	Desert Hackberry
*Celtis reticulata	Net Leaf Hackberry
*Cercidium floridum	Blue Palo Verde
*Cercidium microphyllum	Foothills Palo Verde
Cercidium Praecox	Palo Brea
*Chilopsis linearis	Desert Willows
Olneya tesota	Ironwood
Pithecollobium bervefolium	Apes Earring
Pithecollobium flexicaule	Texas Ebony
Prosopis alba	Argentine Mesquite
Prosopis chilensis	Chilean Mesquite
Prosopis glandulosa	Honey Mesquite
Prosopis pubescens	Screwbean Mesquite
*Prosopis velutina (Juliflora)	Velvet Mesquite

SHRUBS

Acacia augustissima	Fern Acacia
Acacia constricta	White Thom Acacia
Acacia craspedocarpa	Leather Leaf Acacia
*Acacia greggii	Catclaw Acacia

SHRUBS (continued)

*Agave species
Aloysia wrightii
*Ambrosia ambrosioides
*Ambrosia deltoidea
Ambrosia dumosa
*Anisacanthus thurberi
Asclepias subulata
Asclepias tuberosa
Atriplex canescens
Atriplex lentiformis
Atriplex mulleri
Atriplex nummularia
Atriplex polycarpa
Atriplex rhagodioides
Atriplex torreyi

*Berberis haematocarpa
Buddleia marrubifolia
Bursera fagaroides
Caesalpinia gilliesii
Caesalpinia mexicana
Caesalpinia pulcherrima
*Calliandra eriophylla
Calliandra californica
Cassia artemisioides
Cassia biflora
Cassia circinnata
Cassia goldmannii
Cassia leptophylla
Cassia nemophylla
Cassia philodinea
Cassia wislizenii
*Ceanothus greggi
*Cercocarpus montanus
Cordia parvifolia
Dalea bicolor
Dalea formosa
Dalea greggii
*Dalea pulchra
Dalea wislizeni
*Dodonaea viscosa
*Encelia farinosa

Parryi Tomey
Highmass
Canyon Ragweed
Bursage
White Bursage
Desert Honeysuckle
Desert Milkweed
Butterfly Weed
Four Wing Salt Bush
Quail Bush

Old Man Salt Bush
Desert Salt Bush / Cattle Spinach

Nevada Salt Bush
(Atriplex lentiformis var. Torreyi)
Barberry
Wooly Butterfly Bush
Fragrant Bursera
Yellow Bird of Paradise
Mexican Poinciana
Mexican Bird of Paradise
Pink Fairy Duster
Red Fairy Duster
Feathery Cassia
Texas Cassia

Green Feathery Cassia
Silver Cassia
Shrubby Cassia
Desert Ceanothus
Mountain Mahogany

Indigo Bush
Feather Dalea
Prostate Indigo Bush
Gregg Dalea
Indigo Bush
Dodonaea
Brittle Bush

SHRUBS (continued)

*Ephedra species
*Ericameria laricifolia
*Eriogonum fasciculatum
Eriogonum inflatum v. polifo
*Eriogonum wrightii
Fallugia paradoxa
*Fouquieria splendens
Holacantha emoryi
*Hyptis emoryi
Jatropha cardiophylla
*Juniperus monosperma
Justicia candicans
*Justicia californica
Justicia spicigera
Krameria parvifolia
*Larrea tridentata
Leucaena retusa
Leucophyllum frutescens
Leucophyllum laevigatum
Leucophyllum species
*Lotus rigidus
*Lycium andersonii
*Lycium brevipes
*Lycium fremontii
*Minosa biuncifera
Mimosa dysocarpa
Mimulus cardinalis
Nolina bigelovii
*Nolina microcarpa
*Quercus turbinella
Rhamnus californica
*Rhamnus crocea
*Rhus ovata
Rhus trilobata
Ruellia peninsulari
Salvia chamaedryoides
Salvia greggii
Salvia species
Senecio salignus
Senecio douglasii
*Simmondsia chinensis
Sophora arizonica
Sophora secundiflora
Tecoma stans

Mormon Tea
Turpentine Bush
Desert Buckwheat
Flat-topped Buckwheat
Wright's Buckwheat
Apache Plume
Ocotillo
Crucifixion Thorn
Desert Lavender
Limber Bush
One-seed Juniper
Firecracker Bush
Chuparosa
Mexican Honeysuckle
Ratany
Creosote Bush
Gold Lead Ball Tree
Texas Sage, Texas Ranger
Chihuahuan Sage

Desert Rock Pea
Anderson Thombush
Thombush
Wolfberry, Tomatillo
Catclaw
Velvet Pod Mimosa
Monkeyflower
Bigelow Nolina
Bear Grass
Shrub Oak
Coffee Berry
Redberry Buckthorn
Sugar Sumac
Lemonade Bush
Ruellia
Blue Sage
Autumn Sage

Willow leaf Groundsel
Thread Leaf Groundsel
Jojoba
Arizona Sophora
Texas Mountain Laurel
Arizona Yellow Bells

SHRUBS (continued)

*Trixis californica
Vauquelinia californica
*Viguiera deltoidea
Zinnia grandiflora
*Zizyphus obtusifolia

Trixis
Arizona Rosewood
Golden Eye
Prairie Zinnia
Graythorn

VINES

Antigonon leptopus
Cissus trifoliata
Clematis drummondii
Mascagnia lilacina

Coral Vine
Arizona Grape Ivy
Old Man's Beard
Lilac Orchid Vine

GROUNDCOVERS

Acacia redolens
Dalea greggii
Verbena peruviana
Verbena pulchella

Trailing Acacia
Trailing Smoke Bush
Peruvian Verbena

PERRENIALS

*Baileya multiradiata
*Castilleja chromosa
*Cassia covesii
*Delphinium scaposum
*Dichelostemma pulchellum
*Dysodia porophylloides
*Machaeranthera species
*Melampodium leucanthum
Menodora scabra
*Mirabilis multiflora
Muhlenbergia rigens
Oenothera speciosa
*Penstemon eatoni
*Penstemon parryi
Penstemon species
Penstemon superbus
Phlox tenuifolia
*Psilostrophe cooperi
Salvia farinacea
Senecio douglasii
Sphaeralcea ambigua
Tagetes limmoni
Verbena (Glandularia)
Verbena gooddingii
Verbena rigida

Desert Marigold
Indian Paint Brush
Desert Senna
Barestemmed Larkspur
Blue-dick
Dysodia
Aster
Blackfoot Daisy
Menodora
Desert Four O'Clock
Deer Grass
Evening Primrose
Beard Tongue
Beard Tongue

Beard Tongue
Phlox
Paperflower
Blue Salvia
Groundsel
Globemallow
Mt. Lemmon Marigold
Vervain
Gooddings Verbena
Vervain

ANNUALS

**Datura meteloides*
Erigeron species
Eschscholtzia mexicana
Gilia flavocincta
Kallstroemia grandiflora
Lupinus concinnus
**Lupinus sparsiflorus*
Lupinus succulentus
**Mentzelia* species
Oenothera species
Phacelia campanularia
**Rafinesquia* species
**Salvia columbariae*

Sacred *Datura*
Fleabane Daisy
Mexican Poppy
Gilia
Arizona Poppy
Lupine
Lupine
Lupine
Stickleaf
Evening Primrose
Desert Blue Bell
Desert Chicory
Chia

SUCCULENTS AND CACTI

**Agave* species
Aloe species
**Carnegiea gigantea*
**Cereus greggi*
**Dasyliirion wheeleri*
Echinocactus grusonii
**Echinocereus engelmannii*
**Ferocactus acanthodes*
Ferocactus mislizenii
Hesperaloe parviflora
**Mammillaria microcarpa*
**Opuntia acanthocarpa*
Opuntia basilaris
**Opuntia bigelovii*
**Opuntia chlorotica*
**Opuntia engelmannii*
**Opuntia fulgida*
**Opuntia leptocaulis*
Opuntia violacea
**Yucca baccata*
**Yucca elata*

Century Plants (*Parryi*, *Toumeyii*)

Saguaro
Night Blooming *Cereus*
Desert Spoon
Golden Barrel Cactus
Hedgehog Cactus
Compass Barrel
Fishhook Barrel
Coral *Yucca*
Fishhook Pincushion
Buckhorn Cholla
Beavertail Prickly Pear
Teddy Bear Cholla
Pancake Prickly Pear
Desert Prickly Pear
Chain Fruit Cholla
Desert Christmas Cholla
Purple Prickly Pear
Banana *Yucca*
Soaptree *Yucca*

REVEGETATION PLANT MIX

The following is a general recommendation for basic ground cover revegetation with one gallon and larger plant material. When used in conjunction with specimen indigenous trees, cacti and large shrubs, as well as with a revegetation seed mix, this should provide a revegetation area that is natural in appearance upon maturity.

GROUND COVER PLANT MIX		Recommended Quantity of One-Gallon Plants per 1,000 SF
Ericameria laricifolia	Turpentine Bush	30.0
Eriogonum wrightii	Wright's Buckwheat	10.0
Calliandra eriophyll	Pink Fairy Duster	2.5
Eriogonum fasciculatum	Desert Buckwheat	2.0
Acacia greggi	Catclaw Acacia	2.5
Yucca elata	Soaptree Yucca	0.5
Opuntia acanthocarpa	Buckhorn Cholla	2.0
Ferocactus acanthodes	Compass Barrel	0.5

Recommended Distribution:

Revegetation plants should be placed in natural formations that duplicate the adjacent undisturbed desert. Natural clustering and distribution patterns should be duplicated. Strict adherence to the recommended distribution is not encouraged. The goal should be to match the appearance of the adjacent undisturbed desert.

REVEGETATION SEED MIX

Note: This is not a replacement for revegetation with one gallon and larger plant material.

TREES, SHRUBS AND FORBES SEED MIX		Recommended Application Rate In Ounces per Acre
Ericameria Laricifolia	Turpentine Bush	3.0
Eriogonum wrightii	Wright's Buckwheat	0.5
Eriogonum fasciculatum	Desert Buckwheat	0.5
Acacia greggi	Catclaw Acacia	2.0
Prosopis juliflora	Native Mesquite	1.0
Cercidium microphyllum	Foothills Palo Verde	1.0
Calliandra eriophylla	Pink Fairy Duster	1.0
Cercidium floridum	Blue Palo Verde	1.0
Yucca elata	Soaptree Yucca	1.0
Vigueria deltoides	Vigueria	1.0
Baileya multiradiata	Desert Marigold	0.5
Lupinus sparsiflorus	Lupine	0.5
Escholtzia Mexicana	Mexican Poppy	0.5
Phacelia campanularia	Blue Bells	0.5

Recommended Application Method:

- 1) Rip or scarify all areas to be seeded to a minimum depth of 4".
- 2) Cover all areas that have excessive amounts of hard granite (hardpan) or alkaline soil with a minimum of 6" of friable topsoil after ripping.
- 3) Broadcast seed mix at the rates described above in a uniform manner ensuring that all areas are evenly covered; either mechanical or hand broadcasting methods are acceptable.
- 4) Mechanically drag or rake all seeded areas after all seed is uniformly applied. Ideally this should happen after the boxed plant material is installed, and before the small containerized plants are installed.
- 5) No supplemental irrigation is required.

Appendix "D"

PROHIBITED PLANT LIST

The following may not be planted or maintained anywhere in Carefree Ranch:

- 1) Any species of tree or shrub whose mature height may reasonably be expected to exceed twenty feet (20'), with the exception of those species specifically listed as approved by the Committee.
- 2) All Palms (*Palmae*) whose mature height may reasonably be expected to exceed six feet (6') will be prohibited for aesthetic reasons as well as their high maintenance requirements. Dwarf varieties whose mature height may reasonably be expected to be less than six feet (6') will be allowed only in Private Areas within the confines of a private garden and behind site walls.
- 3) All pines (*Pinus*), Cypress (*Cupressus*), False Cypress (*Chamaecyparis*), Juniper or Cedar (*Junipetus*) except those species specifically approved, whose mature height may reasonably be expected to exceed six feet (6') will be prohibited for aesthetic reasons. Dwarf varieties, and those whose mature height may reasonably be expected to be less than six feet (6'), may be used immediately adjacent to the entry to a Residence, or in Private Areas within the confines of a private garden and behind site walls.
- 4) Olive trees (*Olea europaea*) will be prohibited for reasons of their profuse production of allergy producing pollen, as well as for aesthetic reasons.
- 5) Oleanders (*Nerium oleander*) and Thevetia (*Thevetia* species), will be prohibited for aesthetic reasons as well as for their profuse production of allergy producing pollen. These poisonous plants will also be prohibited for their high maintenance requirements and excessive height. Dwarf varieties may be allowed in Private Areas within a private garden and behind site walls.
- 6) Fountain Grass (*Pennisetum setaceum*) will be prohibited as a defined weed with the potential to spread throughout the development and also as a fire hazard.
- 7) All varieties of Citrus will be prohibited for aesthetic reasons and for their profuse production of allergy-producing pollen. Dwarf varieties are permissible in Private Areas within the confines of a private garden and behind site walls.
- 8) Common Bermuda Grass (*Cynodon dactylon*) will be prohibited as a defined weed.
- 9) Mexican Palo Verde (*Parkinsonia aculeatra*) will be prohibited as a harbinger of pests and because of its ability to spread throughout the development, thereby altering the present natural desert.
- 10) Desert Broom (*Buccharis sarothroides*) female plants are prohibited as a defined weed with potential to spread throughout the development. Male plants are acceptable provided they are marked (tagged) as such and purchased from a reputable nursery.

Appendix "E"

APPROVED SLOPED ROOF MATERIAL LIST

In order to minimize the visual impact of sloped roofs in Carefree Ranch, no solid red or terra cotta tile roofs will be permitted. The use of very deep and dark colors for roof materials will blend with the natural environment and minimize the bright effects of the direct sun. These Guidelines further prohibit other bright colors. Tiles having a mottled appearance or tiles of an earth color, other than red, will be considered on a case-by-case basis.

The following roof materials and colors have been approved for use:

- (a) "Pinto" clay tile, also known as "Borgata" or "Algodones." It should be installed with at least 75% of the cap tiles showing less than 50% red color. Pan tiles may show up to 100% red. The tiles may be mortar set; Information on these tiles is available from Mexican Tile & Stone Company of Phoenix.
- (b) "Holandesa," "Marsellesa," and "Portuguesa" tiles, in "Cafe" color only. Information on these tiles is available from Mexican Tile & Stone Company of Phoenix.
- (c) Flat concrete tiles with dark blended or variegated colors that meet the intent of the Guidelines, subject to specific approval by the Committee.
- (d) Standing seam copper with accelerated brown finish, "old penny" finish, or accelerated blue/green patina finish is acceptable. Shiny copper or vibrant green patinas are not allowed due to the visual concerns. Metal roofs may not cause objectionable glare.
- (e) Bernmda roofs subject to specific approval of the pattern and color by the Committee.

It is not the intent of the Committee to limit choices to only these roof materials, patterns and colors. Anyone wishing to use another roof material, tile pattern, or color may submit samples to the Committee for consideration. The Committee will consider other roofing materials and may approve them if, in the opinion of the Committee, the proposed material meets the intent of these Guidelines.

Appendix "F"

APPROVED COLORS LIST

The Committee has found the Dunn Edwards colors listed below to be compatible with the natural environment in Carefree Ranch and has approved them for use on Residences. Due to changes in the industry some colors are no longer available, however, their current equivalents are listed. The colors are identified by color number, color name, and Light Reflectance Value (LRV). The maximum LRV allowed in Carefree Ranch is (32). City codes also dictate allowable LRV values.

<u>Old Color Code</u>	<u>Old Color Name</u>	<u>LRV</u>		<u>New Color Code</u>	<u>New Color Name</u>	<u>LRV</u>
Q1-19D	Flintsmoke	32		DE6067	Crushed Stone	39
			or	DE6068	Cobblestone	25
Q1-20D	Walrus	23		DET694	Carmel Mission	23
Q1-39D	Grand Mariner	31		DET622	Portobello Mushroom	29
Q1-40D	Mississippi Delta	26		DET621	Palomino Pony	19
Q3-19D	Dry Earth	32		DEC717	Baked Potato	34
Q3-20D	Cocoa Mocha	23		DE6124	Whole Wheat	26
Q5-19D	Brown Owl	24		DEC717	Baked Potato	34
Q5-20D	Moonlily	24		DE6124	Carved Wood	20
Q5-39D	Baja Brown	31		DET690	Saddle Up	30
Q7-40D	Tobacco Road	27		DE6194	Natural Bridge	27
Q8-19D	Flintstone	31		DE6230	Center Ridge	18
			or	DE6229	Calico Rock	28
Q8-40D	Antler Brown	26		DEC750	Bison Beige	27

Some additional colors that may be reasonable include:

DEC718	Mesa Tan	27
DET692	Kiln Dried	32
DE6138	Dark Sepia	26
DE6139	Summerville Brown	19
DE6145	Rocky Ridge	29
DE6146	Lonely Road	19
DE6131	Teddy Bear	23
DE6132	Big Stone Beach	16

Paint manufacturers other than Dunn-Edwards may be utilized; other colors may be proposed and will be considered by the Committee and may be approved if, in the opinion of the Committee, the proposed colors meet the restrictions and intent of these Guidelines.

A sample of the building color, along with the LRV number, is required as a part of the Final Submittal.

Appendix "G"

COMMENTS ABOUT SELECT GOVERNMENTAL REGULATIONS

NATURAL AREA EASEMENTS

As per Building Envelope Exhibit approved by the City, each Lot is required to provide a minimum amount of Natural Area Open Space (NAOS). This natural area must be legally secured to assure that it continues as a permanent feature of the landscape.

The intent is that Natural Areas consist of natural desert free from any Improvements and any scars resulting from construction. As long as the vegetation and land surface are not permanently damaged, it is possible to clean and trim in Natural Areas. Landscaping such areas is not allowed unless needed to repair vegetation, which has died or been destroyed; and only upon approval by the City. This repair is the responsibility of the Owner.

Each Owner will be required to record a Natural Area Easement in the form required by the City.

CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE

The latest edition of the City of Scottsdale's Native Plant Ordinance is hereby incorporated into these Guidelines by reference.